

**CITY OF AUSTIN – DEVELOPMENT SERVICES DEPARTMENT
SITE PLAN APPLICATION – MASTER COMMENT REPORT**



CASE NUMBER: SP-2019-0297C
REVISION #:
CASE MANAGER: Jeremy Siltala
UPDATE: U1
PHONE #: (512) 974-2945

PROJECT NAME: 218 South Lamar
LOCATION: 218 S LAMAR BLVD

SUBMITTAL DATE: February 13, 2020
REPORT DUE DATE: February 28, 2020
FINAL REPORT DATE: March 2, 2020 (3 days have been added to the update deadline)

STAFF REPORT:

This report includes all staff comments received to date concerning your most recent site plan submittal. The comments may include requirements, recommendations, or information. The requirements in this report must be addressed by an updated site plan submittal.

The site plan will be approved when all requirements from each review discipline have been addressed. However, until this happens, your site plan is considered disapproved. Additional comments may be generated due to design changes or information provided in updates.

If you have any questions, problems, concerns, or if you require additional information about this report, please do not hesitate to contact your case manager at the phone number listed above or by writing to the City of Austin, Development Services Department, P.O. Box 1088, Austin, Texas 78767.

UPDATE DEADLINE (LDC 25-5-113):

It is the responsibility of the applicant or their agent to update this site plan application. **The final update to clear all comments must be submitted by the update deadline, which is August 7, 2020.** Otherwise, the application will automatically be denied. If this date falls on a weekend or City of Austin holiday, the next City of Austin workday will be the deadline.

UPDATE SUBMITTALS:

A formal update submittal is required. Please bring a copy of this report with you upon submittal to Intake. Updates may be submitted between the hours of 8:30 am and 4:00 pm. Updates submitted after 3 pm may be processed on the following business day.

Please submit 13 copies of the plans and 14 copies of a letter that address each comment for distribution to the following reviewers. Clearly label information or packets with the reviewer’s name if intended for a specific reviewer. No distribution is required for the Planner 1 and only the letter is required for Austin Water Utility Development Services. Please note if Austin Water rejects a plan on Update 2, a fee is due at or before resubmittal. Please contact Intake for the fee amount.

REVIEWERS:

Planner 1: Elsa Garza
Electric: Karen Palacios
Drainage Engineering: Jay Baker
City Arborist: Dillon Olsen
Environmental: Hank Marley
Fire For Site Plan: James Reeves
PARD / Planning & Design: Thomas Rowlinson
Site Plan: Jeremy Siltala
Site Plan Plumbing: Cory Harmon
AW Utility Development Services: Bradley Barron
Water Quality: Jay Baker
AW Pipeline Engineering: George Resendez
Transportation Planning: Ryan Johnson
R.O.W. : Sarah Doersam
ATD Engineering: Amber Mitchell
Industrial Waste: John McCulloch

City Arborist Review - Dillon Olsen - 512-974-2515

- CA 1 U0: *In the mitigation calculations, please show how the proposed landscape compliance plan will meet the proposed PUD requirements currently in review.*
- *Please provide a canopy survey for the heritage tree located on the neighboring lot along the north property line (#10673).*
 - **Thank you for providing a canopy survey. Please see U1 comment.**
 - *Does the planting zone meet the proposed additional soil volume area stated in the proposed PUD agreement? Please indicate the scale for the plan, on the landscape plan.*
 - **Comment pending.** The soil volume requirement describe in the proposed PUD should be added to "PUD Landscape Notes" on the Landscape Compliance Plan. Compliance with soil volume criteria, as described in the PUD, should be shown in the proposed design.
 - *Does the proposed design preserve 75% of the caliper inches associated with native protected size trees; and preserve 75% of all the native caliper inches?*
 - **Addressed.**
[Per C814-2018-0121]
U1: **Comment pending.** At the proposed underground parking structure, adjacent Heritage Tree #10673, demonstrate how construction machinery is going to be able to access this area of the building site and/or maneuver around the adjacent Heritage Tree canopy without over-impacting the canopy, including the 25% maximum removal allowed by code. [ECM 3.4.3, 3.5.2].
- CA 2 U0: Comment pending.
U1: Comment cleared.
- CA 3 U0: Comment pending.
U1: Comment cleared.
- CA 4 U0: Properly represent to scale and label the ¼, ½, and full Critical Root Zones of all heritage trees on the Erosion & Sedimentation Control Plan, as well as on the proposed Site Plan, including any regulated and/or heritage trees that are on adjacent properties that have CRZ's that encroach into the limits of construction.
U1: Comment pending. Please show the tree(s) to be preserved on the Site Plan sheet.
- CA 5 U0: Comment pending.
U1: Comment cleared.
- CA 6 **U1: New comment.** Label mitigation trees on the Landscape Plan sheets. List the quantity of trees to be planted of each variety in the Plant Schedule for mitigation. All trees planted on site can be counted towards mitigation. 1.5" of the tree must go towards street yard or buffering, the rest of the inches can go towards mitigation. Further mitigation review and comments pending.

Electric Review - Karen Palacios - 512-322-6110

- EL1. The transformer location must be truck accessible from your site and no structures including the garage shown is allowed under the transformer. The meter location needs to be with 150 ft. line of sight of the transformer location. Please review the Austin Energy Design Criteria available online.
- 1.3.15 Front Lot Line Construction Requirement
 - 1.3.16 Truck Access to AE Construction and Existing Facility Sites
 - 1.10.4 Clearances from AE Padmount Equipment and Distribution Vaults
 - **Equipment pads shall be located within 6 feet from parking/traffic areas for AE truck accessibility unless otherwise specified by AE Design. Also, when the equipment pad is**

installed within 4 feet of parking/traffic areas, 4-inch minimum galvanized rigid metal posts shall be installed as indicated on equipment pad details from AE Design.

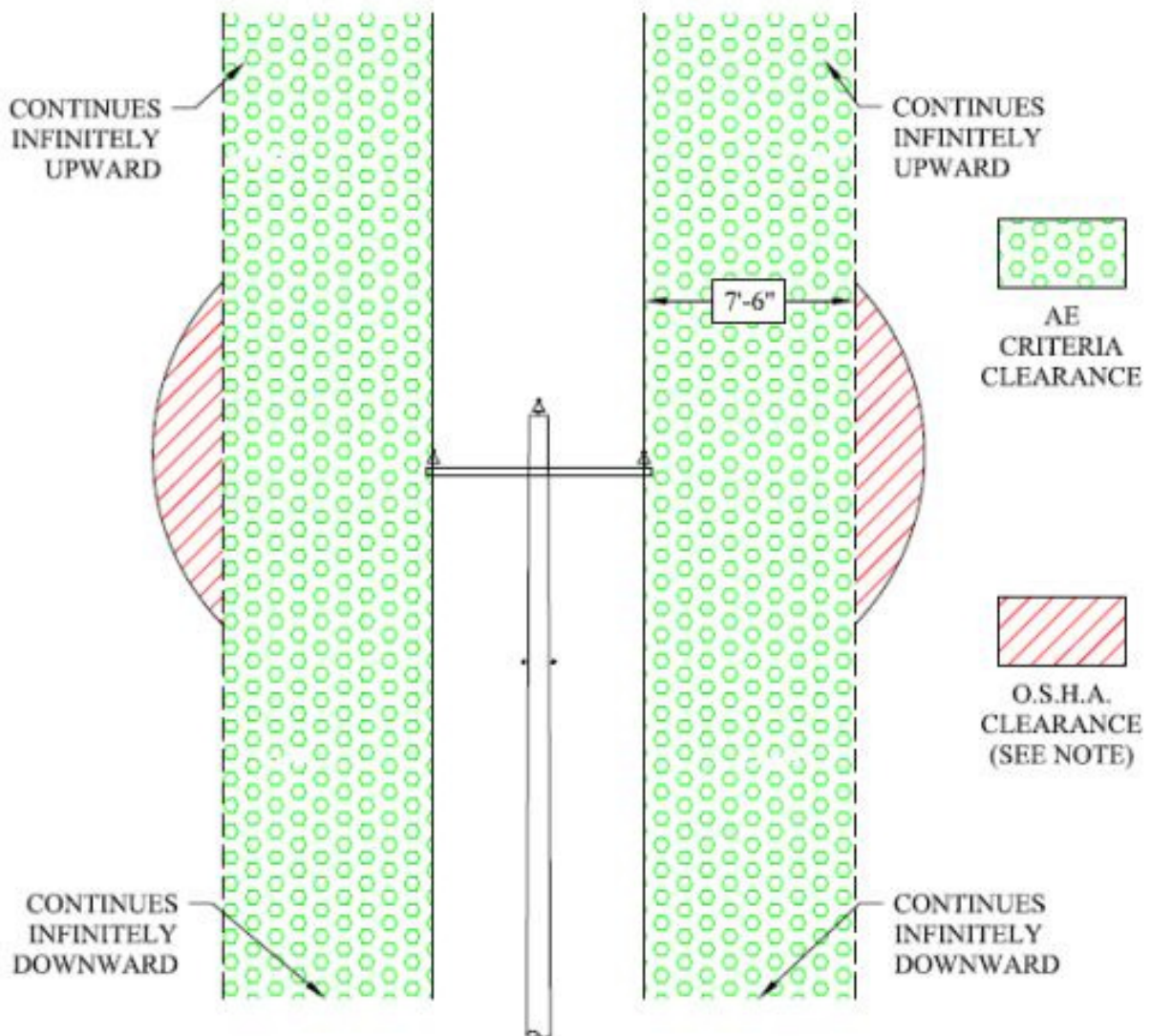
UPDATE: Comment stands on transformer location and proposed route. Austin Energy engineers are currently looking at the transformer location. Please show the proposed route and meter location preliminary approved by Austin Energy design.

EL2. There is existing overhead facilities with a partial easement currently serving the adjacent property and the following clearance is required and needs to be shown and clear of the existing easement.

1.10.0 CLEARANCE AND SAFETY REQUIREMENTS

- **1.10.2 Minimum Working Clearances from Energized Overhead Electric Utility Lines**
- **1.10.3 Permanent Clearances from AE Overhead Lines and Facilities**

See the Austin Energy Permanent Clearance Envelopes and the OSHA/TxHSC Working Clearance Envelopes shown in the diagram below and in the Appendix C - Exhibits, Figures 1-34, 1-35, and 1-36. (Also see Section 1.10.6 for service drop clearances and Section 1.10.7 for clearances from swimming pools). These include, but are limited to, clearances from Customer's buildings, parking garages, light poles, signs, billboards, chimneys, radio and television antenna, tanks, and other installations. As required by AE Design, the Customer shall provide AE with a survey showing the proximities of the Customer's existing and/or proposed facilities to existing AE primary voltage facilities. For more information, contact AE Design.



NOTE: Customer is responsible for determining and ensuring that OSHA clearance are met during construction and maintenance of their facilities. In some instances, it may be necessary for the Customer to request (and pay for) AE to relocate AE facilities or to have the electric power de-energized before working near AE facilities, where possible. Scenarios will determine the possibility of relocating or de-energizing AE facilities.

UPDATE: Cleared. The existing overhead service is proposed to be rerouted. Cleared PLEASE keep in mind vertical construction is not allowed near energized electrical facilities until it has been de-energized.

1.10.0 CLEARANCE AND SAFETY REQUIREMENTS

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EL3. The proposed landscaping will need to be revised depending on the electrical equipment location and routing location per the ECM and proposed non-utility compatible trees along the side yard line needs to be set back from the existing overhead conductor.

The landscaping plan wasn't submitted and must follow section - The City's Environmental Criteria Manual (ECM) Sections 2.4.1.D and 2.4.2.C state, "In areas where utility lines are present or proposed **only trees from the Utility Compatible Shade Trees list** (see Appendix F) shall be planted with in: a) 10 lateral feet from any overhead distribution conductor; b) 30 to 40 lateral feet from any overhead transmission conductor, unless a more restrictive dedicated right-of-way has been established; c) 10 lateral feet from any underground electric facility"

UPDATE: CLEARED

EL 4. I understand there has been a meeting with your lead designer. Items required by Jim Rowin need to be reviewed by staff before resubmittal.

UPDATE: AE engineers are currently still reviewing items submitted.

EL 5. And EL 6 Cleared

EL 7. All plans need to clearly show existing Austin Energy facilities and proposed underground and above ground equipment services for this site.

UPDATE: Comment stands, AE design hasn't approved proposed electrical facilities.

FYI: Austin Energy must review any changes to this plan that may affect electric requirements. These changes include, but are not limited to, changes in building square footage, building location, detention facilities' location, grading, spoil site locations, etc.

ATD Engineering Review - Amber Mitchell - 512-974-5646

These comments maybe cleared informally.

ATD1. The site is subject to the approved TIA with zoning case C814-2018-0121. Demonstrate compliance with approval memo dated May 8, 2019. Provide a copy of fiscal receipts to ensure the site complies with the required mitigations.

U1: Response noted. Comment will be cleared with fiscal posting.

ATD2. Public right-of-way shall not be used for maneuvering. All maneuvering must be contained on-site. TCM, 9.3.0 #3.

It is unclear from the site plan how circulation of loading and trash trucks will take place entirely on site. Can you indicate the circulation plan for large trucks somewhere on the plan set?

U1: The truck turn exhibits are under review. Further comment will be provided as soon as it is available.

ATD3. Driveway approaches must be separated by a minimum of 200 feet, measured from edge to edge at the property line. TCM, Table 5-2. Show the adjacent driveways and dimension the separation.

Please apply and pay for all waivers with next update or update plan to comply with TCM requirements.

U1: Response noted, and waiver requests received. Please pay waiver fee that's been added to AMANDA. A response to the request will be emailed directly to the applicant.

ATD4. The curb return radii for South Lamar must be between 20 feet and 30 feet and between 15 and 25 feet for Toomey Road. TCM, Table 5-2.

Please apply and pay for all waivers with next update or update plan to comply with TCM requirements.

U1: Response noted, and waiver requests received. Please pay waiver fee that's been added to AMANDA. A response to the request will be emailed directly to the applicant.

ATD5. Driveways on divided streets must be designed to align with median breaks or be offset by a minimum of 100 feet, measured from edge to edge. TCM, 5.3.1.K. Show the location of median breaks (existing and proposed) and dimension the offset or indicate that there are none.

This applies to South Lamar Blvd.

U1: Response noted, and waiver requests received. Please pay waiver fee that's been added to AMANDA. A response to the request will be emailed directly to the applicant.

ATD6. The site plan lay-out conflicts with the South Lamar Corridor Program Office Improvements. A meeting with the Corridor Program Office (CPO) Project Manager (PM) for this segment of South Lamar is requested. Please contact Brandy Teague at 512-974-3067, 512-964-7325 or brandy.teague@austintexas.gov. Here is a summary of her feedback regarding this site plan:

- The proposed 45.62' driveway facing South Lamar BLVD is immediately adjacent to an existing driveway. The location and size of these immediately adjacent driveways interfere with the safety and mobility goals for the South Lamar BLVD Corridor. Driveway spacing and size should at a minimum meet TCM standards, and should not interfere with the safety of cyclist and pedestrian users along the improved cycle tracks and pedestrian pathways that will be installed on South Lamar BLVD.
- The median will be closed as part of corridor improvements on Lamar and there will not be an opening in front of the proposed driveway on South Lamar BLVD.
- The landscaping on Toomey Drive appears to interfere with the proposed cycle track and sidewalk improvements proposed by the Corridor Program Office
- CPO5. CPO requests additional sidewalk easement on Toomey Road to allow the desired turning radii for sidewalks and cycle track, and for the merging of cycle track onto Toomey Road.
- Please clarify the purpose of the rectangular wall on the southeast corner of the site at the corner of Toomey and Lamar.

U1: Response noted; your update has been forwarded to the Corridor Office for their review and comment.

Drainage Engineering Review - Jay Baker - 512-974-2636

GENERAL

DE 1. This site is proposing PUD zoning which may require design elements related to drainage and water quality. Provide copy of the PUD Ordinance and ensure that all required design changes are incorporated into the plans.

Update #1: Response indicates that the PUD has not been approved yet so the comments will not be specific until the PUD ordinance has been approved.

ENGINEERING REPORT

DE 2. The report indicates that this project is in both the West Bouldin and Lady Bird Lake Watersheds. Provide confirmation that this is the case by providing copies of the surrounding storm sewer system. It appears that you will redirecting runoff from West Bouldin to Lady Bird Lake? This diversion will be subject to capacity of the receiving systems. Provide analysis of the systems you are proposing to tie in demonstrating no adverse impact to the streets and adjacent properties, with the 100 year HGL contained within the ROW or drainage easements.

Update #1: Response indicates that the diversion to the northwest corner is a requirement of the PUD but the ordinance has not yet been approved. See DE 1.

DE 3. Contact www.atxatxfloodpro.com to obtain DIGS information for the storm sewer system in this area and Stormcad modeling information if available. A Stormcad analysis (pre and post conditions) will be required to confirm capacity of the receiving storm sewer systems, incorporating additional improvements as needed.

Update #1: Response indicates that the DIGS information is not available for the storm sewer system that is being tied into. It will need to be surveyed and modeled for pre and post development conditions, demonstrating that the 100 year runoff will be contained in a drainage easement. Is the storm sewer system in a drainage easement? It appears that this is related to the site plan to the north (SPC-2010-0061C, New Theatre at Zac Scott). In addition, the previous site plan for this site was (SP-95-0047CS, Schlotzsky's National), so both drainage plans should be reviewed for compatibility with this site plan. I have requested the plans and files for both of these site plans.

DE 4. This project is proposing an increase in impervious cover and will require on-site detention or RSMP participation. If proposed, submit application and supporting information by contacting RSMP@austintexas.gov.

Update #1: Response indicates that specific detention requirements have been included in the PUD ordinance but it has not been approved yet. I am not sure that detention would be a zoning category and is public health and safety so contact me to go over this in more detail. I have been informed that RSMP feasibility meeting have been held on this project that I have not been involved in, so contact rsmp@austintexas.gov to request a follow up meeting and invite me as the reviewer.

COVER SHEET

DE 5. CLERED

SITE PLAN

DE 6. CLEARED

DE 7. The plans indicate 4 stories of underground garage with a multi-story building and plaza? Close coordination will need to occur with the Arch and MEP plans to ensure that all drainage is addressed. Provide copy of the MEP drainage plan when available.

Update #1: Response indicates that this in process. Provide copy of MEP drainage plan for review and comparison with the civil plans.

DRAINAGE PLAN(S)

- DE 8. All drainage from this site will need to be treated for water quality and discharged into the storm sewer system without impact to adjacent streets and buildings. Revise the water quality and drainage plan accordingly and provide pre and post hydrologic analysis at each discharge point demonstrating that the 100 yr HGL will be contained within the ROW or drainage easements. Additional detention may be required at each point of analysis. Refer to DCM 1.2.2.A and DCM 1.2.3.C.
Update #1: Response indicates that these details have been worked out with the PUD but I am not sure how that would be the case since is PUD is a zoning case without a lot of drainage or water quality details other than superiority requirements required by the PUD
- DE 9. Provide copies of the drainage plans for SP-95-0047CS and SPC-2010-0061C and also the site to the west to ensure drainage compatibility with those adjacent developments. Contact me to go over these comments in more detail prior to submitting an update.
Update #1: I did receive excerpts of the SPC-2010-0061C plans but cannot locate drainage infrastructure to convey off-site drainage in a drainage easement. I have requested the plans and files for both cases See DE 3.
- DE 10. The subsurface pond will require a maintenance plan and RC. Submit the documents for review.
Update #1: Requested RC received but will be held pending outcome of the approved drainage and detention plan.
- DE 11. Take measures to ensure that no storm water runoff enters the garage.
Update #1: Understood that the standard driveways will have a high point but the diversion assumes adequate gutter flow capacity so that should also be confirmed.

Environmental Review - Hank Marley - 512-974-2067

EV1-EV 3 Comment cleared.

- EV 4 Diversion of stormwater from one watershed to another is limited to the lesser of the following: either 20% of the gross site area or 1 acre. The diversion must maintain existing drainage patterns to the extent feasible. Demonstrate compliance with this requirement. Note that impervious cover limits (as well as Q tables) for this project must be based on pre-grading watershed boundary conditions. [LDC 25-8-365]
Update 1 Comment pending approval of PUD.

EV 5 – EV 10 Comments cleared.

Landscape

- EV 11 Provide a full planting plan with a list of proposed plants and demonstrate compliance with the landscape superiority of the proposed PUD.
Update 1 Comment pending approval of PUD.

Fees and ESC Fiscal Surety [LDC 25-1-82, 25-7-65, 25-8-234]

- EV 12 Provide payment of the site plan environmental inspection fee prior to permit/site plan approval. Obtain the invoice at COA Intake, or by calling 512-974-1770. Payment of the fee may be made at the first floor Cashier's Window. This comment will clear by providing a receipt of payment to the Environmental Reviewer.
Update 1 Comment pending.

EV 13 Comment cleared.

EV 14 Payment of the landscape inspection fee is required prior to permit/site plan approval. Obtain the invoice at Intake on the fourth floor. For questions regarding landscape fee amount, call 512-974-1770. Payment of the fee is made at the first floor Cashier's Window. Upon payment, notify the environmental reviewer.

Update 1 Comment pending.

EV 15 The ESC fiscal estimate is approved. This comment is pending posting of ESC fiscal surety.

Note that fiscal surety is accepted during the following hours:

Monday – Thursday 8:00 – 11:30 a.m. & 1:00 – 3:30 p.m.

Friday 8:00 – 11:30 a.m.

Fire For Site Plan Review - James Reeves - 512-974-0193

Fire hydrant locations do not meet the requirement that all points of the first floor exterior walls be within 500 feet of a hydrant and within 500 feet of a second hydrant. Hydrants on other properties cannot be considered without a legal easement.

PARD / Planning & Design Review - Thomas Rowlinson - 512-974-9372

PR1: To comply with 25-2-721(A)(2), add a signature line on the coversheet for the Parks and Recreation Department.

U1: Comment remains. Site plan is located within the Waterfront Overlay Combining District. Site plan application is subject to the Waterfront Overlay requirements.

PR2: To comply with 25-2-721 (A)(2), provide evidence of:

(a) whether the site plan is compatible with adopted park design guidelines; and

(b) if significant historic, cultural, or archaeological sites are located on the property.

U1: Comment remains. Site plan is located within the Waterfront Overlay Combining District. Site plan application is subject to the Waterfront Overlay requirements.

PR3: As with SP5 and 6, please add a note to the elevations specifying that reflective glass is prohibited. Per 25-1-21 (67), "mirrored glass means glass with a reflectivity index greater than 20 percent." Note 20% reflectance.

U1: Note the maximum 20% reflectance.

PR4: To comply with 25-2-721 (G), please provide evidence that air conditioning and heating equipment, utility meters, loading areas, and external storage are screened from public view.

U1: Transformers are visible to public. Move transformers so that they are not visible. Call out screen of trash receptacles/dumpsters. Call out screening of water meters, water vaults, water valves, wastewater cleanouts, or indicate that they are underground.

Move and screen exhaust vent from public area.

PR5: Please provide evidence of compliance with 25-2-733 Butler Shores Subdistrict Regulations: (E) This subsection applies to a nonresidential use in a building adjacent to park land adjoining Town Lake.

(1) For a ground level wall that is visible from park land or a public right-of-way that adjoins park land, at least 60 percent of the wall area that is between 2 and 10 feet above grade must be constructed of clear or lightly tinted glass. The glass must allow pedestrians a view of the interior of the building.

(2)Entryways or architectural detailing is required to break the continuity of nontransparent basewalls.

(3)Except for transparent glass required by this subsection, natural building materials are required for an exterior surface visible from park land adjacent to Town Lake.

U1: Comment remains. If applicant disagrees, provide documentation that explicitly calls out any reference that would otherwise indicate the adjacent site is not parkland. Contact reviewer: Thomas.rowlinson@austintexas.gov

PR6: Label the adjacent City parkland to the north as follows:
City of Austin (Parkland)

U1: Comment remains. If applicant disagrees, provide documentation that explicitly calls out any reference that would otherwise indicate the adjacent site is not parkland. Contact reviewer: Thomas.rowlinson@austintexas.gov

PR7: Please show that no mechanical equipment will be blowing on parkland (north side of the site).

U1: Comment remains. If applicant disagrees, provide documentation that explicitly calls out any reference that would otherwise indicate the adjacent site is not parkland. Contact reviewer: Thomas.rowlinson@austintexas.gov

PR8: Additional comments may be issued depending on PUD zoning currently in review.

U1: Comment remains. PUD zoning still in review.

PR9 (U1): Sheet 15 shows an outlet pipe to be constructed on parkland. Construction on parkland is forbidden. If pursuing a Chapter 26 process, contact this reviewer: thomas.rowlinson@austintexas.gov

Site Plan Review - Jeremy Siltala - (512) 974-2945

SUBCHAPTER E: DESIGN STANDARDS

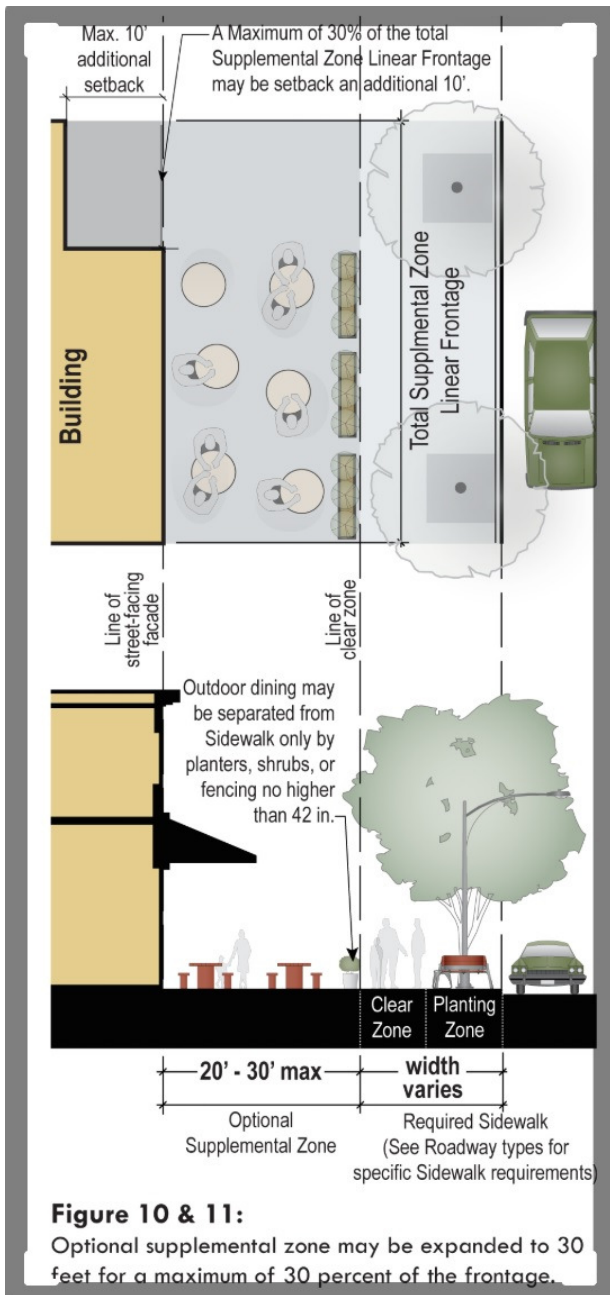
§ 2.2.2. Core Transit Corridor Building Placement

SP1. 75% of the net frontage length of the property along the CTC (South Lamar) must consist of continuous building façade built up to the clear zone, or the supplemental zone if one is provided [2.2.3.D.1].

U1: comment remains. A supplemental zone may be provided between the street-facing facade line and the required clear zone. Up to 30 percent of the linear frontage of the supplemental zone may be a maximum of 30 feet wide (depth), and the remainder of the supplemental zone shall be a maximum of 20 feet wide (depth). See figures 10 & 11.

Elements that support active public uses should be located within the supplemental zone, including one or more of the following: Accessory outdoor dining, provided that the dining area may be separated from the sidewalk only with planters, shrubs, or fencing with a maximum height of 42 inches (see figure 12.);

Balconies, pedestrian walkways, porches, handicap ramps, and stoops; provided, however, that no such feature shall extend beyond the supplemental zone without a license agreement; Terraces, provided that they have a maximum finished floor height of 24 inches above the sidewalk elevation and shall be surrounded by a guardrail that meets city specifications; Landscape and water features; Plazas; and incidental display and sales (2.2.2.C).



§ 2.4: Building Entryways

SP2. At least one customer entrance must face and connect directly to the roadway where building frontage is provided. See Figure 32 for requirements for a principal entrance that does not face the principal street. Identify and label all building entrances.

U1: comment cleared. Entrance 120B satisfies this requirement; revise Floorplan Sheet 25 to remove 101A callout. Furthermore, remove 75% frontage callout as well.

SP3. cleared

§2.6: Screening

SP4. Verify compliance with screening requirements of Subchapter E, Section 2.6.2 and add the following note to site plan sheet: Screening for solid waste collection and loading areas shall be the same as, or of equal quality to, principal building materials.

U1: comment remains

WATERFRONT OVERLAY DISTRICT

SP5-SP6. cleared

SP7. A distinctive building top is required for a building that exceeds a height of 45 feet. Distinctive building tops include cornices, steeped parapets, hipped roofs, mansard roofs, stepped terraces, and domes [25-2-721(E)2].
U1: comment remains

SP8. cleared

SP9. Underground utility service is required, unless otherwise determined by the utility provider [25-2-721(F)].
U1: comment remains

ADMINISTRATIVE

SP10. Zoning compliance pending the approval of PUD zoning application C814-2018-0121.
U1: comment remains. Further comments may be forthcoming.

SP11-SP18. cleared

SP19. Confirm that all easements (existing and proposed) including joint access, drainage, conservation, utility and communications are shown (with record reference) on the plans.
U1: comment pending vacation or recordation of any easements

SP20. License Agreement must be approved prior to site plan approval and release.
U1: comment pending

INFO: The applicant is responsible for requesting relocation and demolition permits once the site plan is approved. All existing structures shown to be removed will require a demolition permit from the City of Austin Development Services Department.

R.O.W. Review - Sarah Doersam - 512-974-6540

ROW 1: Utility coordination case UCC-190822-09-02 is incomplete. UC case must be complete and completeness letter issued by AULCC staff for ROW review to indicate approved in the site plan case. Status will remain in informal update. Once the UC case is approved, you may contact me directly to update the ROW review status in the site plan case.

Transportation Planning - Ryan Johnson - 512-974-1225

PUD ZONING

TR1. This site plan shall not be approved until the PUD zoning ordinance 218 S. Lamar (C814-2018-0121) has been signed. Additional comments may be generated based on the approved PUD.
U1: Comment remains. Pending PUD approval.

TR2. *U1: Comment removed. Please address TIA comments with the ATD reviewer.*

SUBCHAPTER E

TR3. *U1: Comment cleared. Street tree spacing meets minimum requirements.*

TR4. Where required, the sidewalk shall extend onto private property to fulfill the 15-foot minimum requirement, with a sidewalk easement provided (§2.2.2.B). Provide an additional two feet within the easement for maintenance purposes. TCM, 4.2.1, 4.2.2. Provide the easement for Toomey Road and South Lamar Boulevard.

U1: Comment remains. Per Ivan Naranjo, City standard detail 432S-1 indicates an additional 2 feet of space outside the sidewalk pavement; this is necessary for the construction of sidewalk forms and other maintenance activities. Please revise easement to include this additional space.

TR5. *U1: Comment cleared. All utilities underground.*

TR6. *U1: Comment cleared. South Lamar Blvd. shown to be principal street.*

RIGHT-OF-WAY

TR7. *U1: Comment cleared. For information, all level 1 streets are required to comply with the ASMP requirements, even if not included in the Street Network Table. Level 1 streets in constrained (built-out) conditions must have a minimum 50 feet ROW; level 1 streets in unconstrained and greenfield conditions are required to have a minimum 60 feet ROW.*

TR8. *U1: Comment removed. Comment to be addressed with ATD reviewer.*

TR9. *U1: Comment removed. Comment to be addressed with ATD reviewer.*

TR10. Clearly identify the property line on the site plan and the garage plans. It is not clear where the property line is located on all sheets.

U1: Comment remains. Thank you for clearly identifying property line on garage plans. However, it appears the property line was removed entirely from Site Plan (Sheet 9). Please revise.

TR11. *U1: Comment cleared. Verification from TxDOT provided.*

TR12. *U1: Comment cleared. Pavement markings and width shown.*

TR13. A license agreement is required for the vertical improvements within the right-of-way. Please contact Andy Halm with Office of Real Estate Services at 974-7185. Please begin this process as soon as possible, as it can take some time.

U1: Comment remains. Response noted; pending approval of license agreement.

DRIVEWAY

TR14. *U1: Comment cleared. Driveways shown to be removed.*

TR15. *U1: Comment cleared. Recommendation only.*

TR16. Identify the proposed driveways as "Proposed Type II Driveway". Undivided two-way driveway approaches must be between 25 and 40 feet on Toomey Road, and 30 and 45 feet wide along South Lamar with 25-foot wide driveways preferred for the Mobility Corridor improvements, measured at the property line. Revise the driveway widths or request waivers. The two adjacent driveways for the loading area and garage entrance may not be approved by staff due to safety concerns and driveway requirements for the TCM and LDC after further review. TCM, Table 5-2.

U1: Comment remains. Response noted and waiver request received. As this is a Level 3 roadway, ATD will review this waiver in conjunction with the other driveway waivers. Pending ATD waiver decision.

TR17. *U1: Comment removed. Comment to be addressed by ATD reviewer.*

TR18. *U1: Comment removed. Comment to be addressed by ATD reviewer.*

TR19. *U1: Comment removed. Comment to be addressed by ATD reviewer.*

TR20. *U1: Comment cleared. Remaining S. Lamar driveway complies with throat length requirement.*

TR21. All driveways must be constructed within the street frontage of the subject property, as determined by extending the side property lines to the curb line (at a 90 degree angle to the centerline of the street). Neither the driveway nor the curb returns may overlap adjacent property frontage without notarized written approval from the adjacent property owner. TCM, 5.3.1.G; LDC 25-6-292(A). Revise the driveway locations or provide notarized written approval from the north and western property owners for the driveway overlaps.

U1: Comment remains. Comment pending receipt of driveway overlap approval agreements (one for each driveway).

PARKING GARAGE / LOADING

TR22. All parking must be provided in accordance with design and construction standards of the TCM. LDC 25-6-563; TCM, Table 9-1. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls for all parking stalls and revise the scale to an engineer scale dimension. FYI – all parking for the restaurant use shall comply with TCM Table 9-1. Table 9-2 will not be allowed for the entire garage. Revise the parking garage accordingly.

U1: Comment remains. Thank you for indicating some dimensions and showing maneuvering diagrams. Please include typical length and width dimension for at least each parking row. Also, it is unclear which parking spaces are for the restaurant use, and so this reviewer is unable to determine if they meet the size requirements. Please label the 89 spaces reserved for the restaurant use.

TR23. Revise the following within the parking tables in accordance with LDC 25-6-472, Appendix A.

U1: Comment remains. Pending approval of PUD ordinance with modified bike parking requirement. Please address the following:

- **Base required parking is 674 spaces, not 639.**
- **Parking requirement after Urban Core reduction should be 539, and after shower reduction 472.**
- **Parking table indicates 39 bicycle spaces provided, but site plan shows 40. Please revise table to match.**

TR24. *U1: Comment cleared. Bicycle parking labeled, and detail included.*

TR25. *U1: Comment cleared. Bicycle parking located to comply with 25-6-477.*

TR26. *U1: Comment cleared. Driveway grades shown to comply with 433S-2.*

TR27. *U1: Comment cleared. Driveway revised to include one entrance ramp.*

TR28. *U1: Comment cleared. Bike storage revised to standard bike racks.*

TR29. *U1: Comment cleared. Art studio located on ground level.*

TR30. *U1: Comment cleared. Compact parking labeled and signed accordingly.*

TR31. *U1: Comment cleared. Note included.*

TR32. *U1: Comment cleared. See new comment TR52 regarding maneuvering space for dead-end aisles.*

TR33. *U1: Comment cleared. Thank you for including paver detail.*

TR34. *U1: Comment cleared. Inlet grates labeled.*

TR35. *U1: Comment cleared. Turning templates demonstrate access to loading spaces.*

SIDEWALK

TR36. *U1: Comment cleared. Termination of curbs shown at sidewalk crossings. Continue CPO coordination as needed with ATD reviewer.*

TR37. *U1: Comment cleared. Tie-in points shown. Staff recommends revising sidewalk design slightly to avoid sudden jog a northern property line.*

ACCESSIBILITY

TR38. *U1: Comment cleared. Notes added.*

TR39. *U1: Comment cleared. Accessible routes shown.*

- TR40. *U1: Comment cleared. Accessible route shows access to all main building entrances.*
- TR41. *U1: Comment cleared. Accessible route shown within ROW.*
- TR42. *U1: Comment cleared. Accessible routes shown and parking location revised.*
- TR43. *U1: Comment cleared. Ground surfaces identified. See comment TR48 regarding pavers.*
- TR44. *U1: Comment cleared. Accessible routes and van spaces included.*
- TR45. *U1: Comment cleared. Note included.*
- TR46. *U1: Comment cleared. Curb ramps shown.*
- TR47. *U1: Comment cleared. Response noted, existing curb ramps to remain.*
- TR48. It appears portions of the sidewalk within the property are pavers. Pavers may be used in the ADA route with the following specifications:
- Joints between pavers 1/2" maximum
 - Vertical differences between pavers 1/4" maximum
 - Running slope (in the direction of travel) 1:20 (5%) maximum
 - Cross slope (perpendicular to the direction of travel) 1/4" per foot (2%) maximum
- Provide the paver details showing the dimensions, and provide the specifications as notes on the site plan sheet.
- U1: Comment remains. Please include the specifications as a note on the site plan sheet and/or paver detail. The detail included does not indicate the joint spacing and slope limitations.**

MISCELLANEOUS

- TR49. *U1: Comment cleared. Dumpster storage and pick-up locations shown.*
- TR50. Revise the LOC to include all off-site improvements associated with the TIA mitigations.
U1: Comment remains. Pending inclusion of off-site improvements and revised LOC.
- TR51. *U1: Comment cleared. Obstructions shown.*

NEW COMMENTS U1

- TR52. Each parking space must have adequate drives, aisles, and turning and maneuvering areas for access and usability. TCM, 9.2.0 #5. Show and dimension an additional 3 feet of spacing between the garage wall and the parking spaces at the end of each dead-end drive aisle.

AW Utility Development Services - Bradley Barron - 512-972-0078

- WW1. Per Utility Criteria Manual 2.5.1(F)(14) and §25-1-61:
A PUD for this development is awaiting hearing and must be approved. The utility plan must follow the PUD requirements when approved.
- WW2. Per Utility Criteria Manual Section 2, §25-4, §25-9, and the Uniform Plumbing Code:
The review comments will be satisfied once Pipeline Engineering has approved the water and wastewater utility plan. For plan review status, contact George Resendez with Pipeline Engineering at 512-972-0252.

Water Quality Review - Jay Baker - 512-974-2636

GENERAL

- WQ 1. This site is proposing PUD zoning which may require design elements related to drainage and water quality. Provide copy of the PUD Ordinance and ensure that all required design changes are incorporated into the plans.
- Update #1:** Response indicates that the PUD has not been approved yet so the comments will not be specific until the PUD ordinance has been approved.

ENGINEERING REPORT

WQ 2. Enhance the report to be more specific about how water quality requirements are met for this site including any specific requirements from the PUD.

Update #1: Response indicates that the PUD has not been approved yet so the comments will not be specific until the PUD ordinance has been approved.

Integrated Pest Management (IPM)

WQ 3. Water quality controls for this project will be Green Storm Water Quality Infrastructure (ECM 1.6.7) so an Integrated Pest Management (IPM) plan and associated Restrictive Covenant (RC) will be required for this application. The City of Austin now has an online process for IPM submittals. Please submit online at:

<http://www.austintexas.gov/ipm>

Once the IPM has been completed, a IPM RC shall be recorded to tie the IPM to the application. Please go to the following web site for the IPM Document to complete:

<http://www.austintexas.gov/page/common-easement-and-restrictive-covenants>

Once the IPM RC has been completed, submit for review and to be forwarded to the Law Department for final review and signatures.

Once the IPM RC has been recorded, add reference note to the cover sheet with document number noted.

This comment will be cleared when the copy of the recorded restrictive covenant is provided and document number noted on the cover sheet.

Update #1: IPM RC received but IPM approved plan not yet received.

WATER QUALITY PLANS

WQ 4. All drainage from this site will need to be treated for water quality. The current plan only shows a portion of the impervious cover on the site to be treated for water quality. Revise the water quality plan accordingly to ensure that all developed areas on the site have water quality controls. This will need to be closely coordinated with the MEP drainage plan. Contact me to go over in more detail prior to submitting the update.

Update #1: Response indicates that this was coordinated with staff with the PUD, but the PUD has not been approved yet. Also, who were the staff you were coordinating with? Remember that PUD review is more general and not site specific.

WQ 5. The plan indicates that a portion of this site will be treated by the rain garden to the north but that would be considered to be off-site and subject to additional requirements including an agreement from the owner. It does not appear that will be feasible since the runoff from the site will need to connect directly into the storm sewer system.

Update #1: Understood that the off-site pond may be part of the water quality plan but is there sufficient capacity in that development to provide for this site and also is it in an RC defining rights and responsibilities regarding participation in that facility?

AW Pipeline Engineering - George Resendez - (512) 972-0252

The major reasons for rejection of this submittal include, but not limited to non-compliance with city code sections:

- **§ 25-4-191 – Water Lines**

A subdivision within 100 feet of a public water system must be connected to the public water system. The director may waive this requirement.

If a subdivision is to be served by a public water system:

- *approval of the water system plans by the director of the Water and Wastewater Utility is required;*
- *installation of the water system must comply with the requirements of this title and the Utilities Criteria Manual; and*
- *water lines to serve each lot must be installed before a lot may be occupied.*

Source: Section 13-2-476; Ord. 990225-70; Ord. 031211-11.

- **§ 25-4-192 – Wastewater Lines**

A subdivision within 100 feet of a public wastewater system must be connected to the public wastewater system. In the extraterritorial jurisdiction, the director may waive this requirement. In the zoning jurisdiction, this requirement may be waived under Section 25-9-4 (Connection To Organized Wastewater System Required).

If a subdivision is to be served by a public wastewater system or community disposal system, wastewater lines to serve each lot must be installed before a lot may be occupied.

Source: Section 13-2-475; Ord. 990225-70; Ord. 031211-11.

- **§ 6-4-11(E) Mandatory Reclaimed Water Connection**

Except for municipal uses associated with law enforcement or public health and safety, all new commercial developments or redevelopments located within 250 feet of a reclaimed water distribution line are required to obtain and utilize permitted connections to reclaimed water for irrigation, cooling, and other significant non-potable water uses.

- **§ 15-9-9 – Criteria Manuals**

The Utilities Criteria Manual and the Water and Wastewater Design Criteria Manual apply to utility service provided under the Code.

Source: Ord. 040805-02.

- **§ 15-9-152 – Design and Installation Guidelines**

The directors of the Electric Utility and the Water Utility shall adopt design and installation guidelines related to a customer's installation and the City's service connection.

A person authorized to install a customer's installation or the City electric utility equipment or facilities shall comply with the City's "Utilities Criteria Manual."

A person authorized to install a customer's installation or the City's water utility equipment or facilities shall comply with the City's Utilities Criteria Manual, standards, and specifications.

Source: 2003 Code Sections 15-9-211(A) and (B); 1992 Code Sections 18-4-300(A) and (B); Ord. 040805-02; Ord. No. 20180524-006, Pt. 8, 6-4-18.

- **TCEQ Chapter §291.93. Adequacy of Water Utility Service.**

*Sufficiency of service. Each retail public utility which provides water service shall **plan**, furnish, **operate**, and **maintain** production, treatment, storage, transmission, and distribution facilities of sufficient size and capacity to provide a continuous and adequate supply of water for all reasonable consumer uses.*

- **TCEQ Chapter §291.94. Adequacy of Sewer Service.**

*Sufficiency of service. Each retail public utility shall **plan, furnish, operate, and maintain** collection, treatment, and disposal facilities to collect, treat and dispose of waterborne human waste and waste from domestic activities such as washing, bathing, and food preparation. These facilities must be of sufficient size to meet the minimum design criteria for wastewater facilities of the commission for all normal demands for service and provide a reasonable reserve for emergencies.*

In addition, this specific project does meet with the following Utility Criteria Manual sections 2.2.0 thru 2.9.

In accordance with section 15-9-276 of City Code, the project will need dedicated and recorded water/wastewater or reclaimed water easements.

- **§217.321. Safety Design of a Wastewater Treatment Facility.**

*(b) Occupational **safety and health hazards, and risks to workers and the public**, must be addressed in the design of collection system and wastewater treatment facility equipment and processes.*

- **§291.95. Standards of Construction.**

In determining standard practice, the commission will be guided by the provisions of the American Water Works Association, and such other codes and standards that are generally accepted by the industry, except as modified by this commission, or municipal regulations within their jurisdiction. Each system shall construct, install, operate, and maintain its plant, structures, equipment, and lines in accordance with these standards, and in such manner to best accommodate the public, and to prevent interference with service furnished by other retail public utilities insofar as practical.

A complete all-inclusive list of comments along with code citations is provided on the red lined plans. The red lined plans are ready to be picked up at Austin Water Pipeline Engineering, At, Waller Creek Center, 625 E. 10th Street, Suite #300, Austin, Texas 78701, between the hours of 8:00 am-12:00 pm, Monday through Friday.

Responses to all of the red lined comments/questions must be made in a different color on the plan set with an explanation of how aw comments/questions have been addressed.

Please indicate if the project will be submitted to AULCC for review and if so, include row id# and UCC permit # on the utility plan sheet.

Industrial Waste Review - John McCulloch - 512-972-1060
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IW1. The utility plan continues to comply with Industrial Waste requirements. Awaiting scheduling for signoff.

Planner 1 Review - Elsa Garza - 512-974-2308

THE FOLLOWING COMMENTS APPLY PRIOR TO RELEASE OF SITE DEVELOPMENT PERMIT

- P1. FYI – An appointment is required in order to receive the site development permit. The permit will be released *after* the flash drive has been submitted with the Intake Staff and the site plan approval blocks have been finished. Contact the Planner I listed above to set up an appointment to receive the site plan permit.
- P2. FYI – Fill out the Site Plan Approval blocks with the following information in **bold**.
- **Sheet numbers**
 - File number: **SP-2019-0297C**
 - Application date: **July 15, 2019**
 - Under Section **112** of Chapter **25-5** of the City of Austin Code
 - Case Manager: **Jeremy Siltala**
 - Zoning: **Please Add the Zoning on the mylars.**

If the Site Plan Approval Blocks are not filled out, the applicant will need to make an appointment to fill them out by hand. If the applicant wishes the Planner 1 to fill them out, there could be a delay in receiving the site development permit.

- P3. FYI – FLASH DRIVE REQUIREMENT
- All applications submitted for completeness check after 5/10/10 for Administrative Site Plan Revision, Consolidated Site Plan, Non-Consolidated Site Plan, CIP Streets and Drainage, Major Drainage/Regional Detention, and Subdivision Construction Plans will require the additional items listed in the Electronic Submittal Exhibit of the application packet on a USB flash drive prior to release of permit. The flash drive must be taken directly to the Planner 1 on this report by the applicant once all comments are cleared.

End of Report