

CITY OF AUSTIN – DEVELOPMENT SERVICES DEPARTMENT
SITE PLAN APPLICATION – MASTER COMMENT REPORT



CASE NUMBER: SP-2020-0084D
REVISION #: 00 UPDATE: U0
CASE MANAGER: Ann DeSanctis PHONE #: 512-974-3102

PROJECT NAME: AIM South Lamar C1 Riverside Dr to Barton Springs Road
LOCATION: 204 1/2 S LAMAR BLVD SB

SUBMITTAL DATE: April 13, 2020
REPORT DUE DATE: May 11, 2020
FINAL REPORT DATE: May 12, 2020
1 DAY HAS BEEN ADDED TO THE UPDATE DEADLINE

STAFF REPORT:

This report includes all staff comments received to date concerning your most recent site plan submittal. The comments may include requirements, recommendations, or information. The requirements in this report must be addressed by an updated site plan submittal.

The site plan will be approved when all requirements from each review discipline have been addressed. However, until this happens, your site plan is considered disapproved. Additional comments may be generated as a result of information or design changes provided in your update.

If you have any questions, problems, concerns, or if you require additional information about this report, please do not hesitate to contact your case manager at the phone number listed above or by writing to the City of Austin, Development Services Department, P.O. Box 1088, Austin, Texas 78767.

UPDATE DEADLINE (LDC 25-5-113):

It is the responsibility of the applicant or their agent to update this site plan application. **The final update to clear all comments must be submitted by the update deadline, which is March 5, 2021.** Otherwise, the application will automatically be denied. If this date falls on a weekend or City of Austin holiday, the next City of Austin workday will be the deadline.

UPDATE SUBMITTALS:

A formal update submittal is required. Please bring a copy of this report with you upon submittal to Intake.
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Updates may be submitted between the hours of 8:30 am and 4:00 pm. Updates submitted after 3 pm may be processed on the following business day.

Please submit 11 copies of the plans and 12.0 copies of a letter that address each comment for distribution to the following reviewers. Clearly label information or packets with the reviewer's name if intended for a specific reviewer. **No distribution is required for Planner 1 and only the letter is required for Austin Water Utility Development Services.**

Please note: if Austin Water rejects a plan on Update 2, a fee is due at or before resubmittal. Please contact Intake for the fee amount.

REVIEWERS:

Planner 1 : Ramon Rezvanipour
Electric : Andrea Katz
Drainage Engineering : Kena Pierce
City Arborist : Keith Mars
Environmental : Pamela Abee-Taulli
Flood Plain : Jason Recker
PARD / Planning & Design : Thomas Rowlinson
Site Plan Plumbing : Cory Harmon
Traffic Control : Shawn Jackson
AW Utility Development Services : Bradley Barron
Water Quality : Kena Pierce
Site Plan : Ann DeSanctis
R.O.W. : Isaiah Lewallen
AW Pipeline Engineering : George Resendez

Electric Review - Andrea Katz - 512-322-6957

- EL 1. Overhead electric line across S Lamar at Barton Springs Rd to be raised. Coordinate with John Biehn at John.Biehn@austinenergy.com to determine pole type and placement and show on updated plan set. Currently, down guy wires conflict with proposed bike rack clearance.
- EL 2. Streetlighting to be coordinated with AE. Please reach out to me to discuss.
- EL 3. Recommendations from AE Line Clearance: Please replace Cedar Elm trees around future street light poles with less tall species. AE does not currently maintain street trees for illumination and over a period of time, the Cedar Elms will become too large and make light maintenance difficult, as well as blocking light shining on the road, sidewalk, etc.
 - Pg. 156 3 CE around street light pole structure.
 - Pg. 157 7 CE around street light pole structure.
 - Pg. 158 8 CE around street light pole structure.
 - Pg. 159 7 CE around street light pole structure.
 - Pg. 161 1 CE around street light pole structure.

Drainage Engineering Review - Kena Pierce - 512-974-7273

Release of application does not constitute a verification of all data, information, & calculations supplied by applicant. The engineer of record is solely responsible for the completeness, accuracy, & adequacy of his/her submittal, whether or not the application is reviewed for code compliance by city engineers.

- DE 1. Please submit electronic copy of stormCAD models so they can be reviewed by Watershed Protection Department. They can be sent to kena.pierce@austintexas.gov.
- DE 2. Pending Watershed's acceptance of storm sewer modeling and calculations.
- DE 3. Per DCM 5.7.1.I "New street trees placed within the right-of-way shall have a horizontal clearance of 5 feet from the edge of the tree well to the outer edge of the storm drain, manhole, inlet, or other appurtenance.". Clearly demonstrate this in the landscaping sheets by calling out the distance between trees and curb inlets. The DCM criteria updates can be accessed at this site. <http://www.austintexas.gov/edims/document.cfm?id=333087>. They are not yet incorporated into Municode. Also note that benches and bike racks have inlet distance requirement in TCM 4.2.2.

City Arborist Review - Keith Mars - 512-974-2755

Note: Please e-mail your reviewer if you have any questions, concerns, or require additional information about these comments. Please also e-mail your reviewer if you would like to schedule a phone or virtual meeting to discuss the review comments. Updates cannot be reviewed outside of the Plan Review cycle. If you have questions about DSD's response to COVID-19 please go to <https://www.austintexas.gov/page/dsd-covid-19>.

- CA 1: Add tree numbers to all trees on all plan sheets.
- CA 2: Add tree protection fencing to all trees within the LOC and extend fencing to the full critical root zone where possible.
- CA 3: Page 34 of 249 shows multiple site improvements in the ½ and ¼ critical root zone of regulated trees. Please contact this reviewer to schedule a meeting: SuzannahDesRoches@austintexas.gov; Keith.Mars@austintexas.gov

- CA 4: Show trees on the removal/demolition plan sheets. Also show tree protection.
- CA 5: Remove notes on landscape sheets stating “proposed trees are for any required mitigation”. This project is subject to street tree requirements separate from tree preservation & mitigation requirements.
- CA 6: Thank you for the street tree details and notes. Please contact Taylor Horton and Naomi Rotramel to discuss species diversity, planting details, etc. to ensure continuity between the City Arborist and the Corridor Program on some of our joint work to improve street tree plantings.
Taylor.Horton@austintexas.gov; Naomi.Rotramel@austintexas.gov.

Wetlands Biologist Review - Ana Gonzalez - 512-974-2929

Thank you for the opportunity to review this proposed site plan. The proposed section of the overall project reviewed under this site plan does not contain wetland CEFs within its boundaries or within 150ft of the LOC. Therefore, I do not have comments for your consideration.

Environmental Review - Pamela Abee-Taulli - 512-974-1879

Watershed Boundary

- EV 1 Diversion of stormwater from one watershed to another is limited to the lesser of the following: either 20% of the gross site area or 1 acre. The diversion must maintain existing drainage patterns to the extent feasible. Demonstrate compliance with this requirement by providing a table showing existing and proposed drainage areas for the two watersheds [LDC 25-8-365]

Demolition

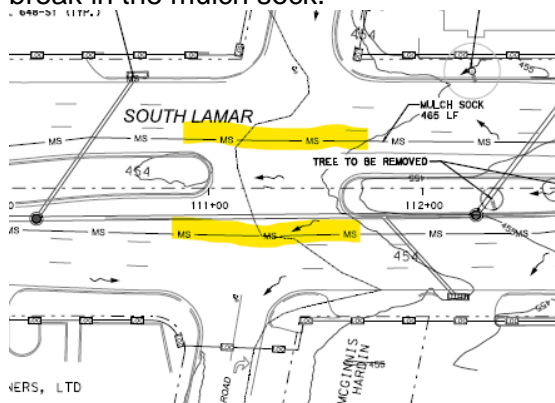
- EV 2 Add a note to the ESC plan stating:
“A preconstruction meeting with the Environmental Inspector is required prior to any site disturbance.”

Classified Waterways / CWQZ / WQTZ / Floodplain

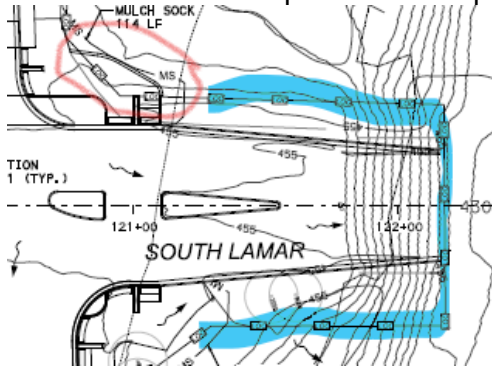
- EV 3 Clearly show and label the CWQZ. [LDC 25-8-92]

ESC Requirements [LDC 25-7-61,65, 25-8-181,182,183,184]

- EV 4 Add a note to the ESC sheets, “Inlet protection required for all inlets within LOC.”
- EV 5 I am concerned about the mulch sock proposed for curb inlet protection. Since there is no grate at the curb inlets, mulch sock is prone to falling in. Please proposed a different type of control for the curb inlets and provide detail.
- EV 6 Clarify whether turn lanes will be in use on Lamar during this work. For example, mulch sock is shown crossing the intersection of Lamar and Butler. If this intersection will be open to traffic, please show a break in the mulch sock.



- EV 7 Clarify what work is proposed in the area of the LOC outlined in blue. Reduce the LOC to only the necessary area to accommodate proposed work. Also, in the area circled in red, it appears that the LOC does not encompass all of the proposed work.



- EV 8 If a concrete washout will be necessary, designate a location for on the ESC sheet.

- EV 9 Add a note to all ESC sheets stating:

"If disturbed area is not to be worked on for more than 14 days, disturbed area needs to be stabilized by revegetation, mulch, tarp or revegetation matting. [ECM 1.4.4.B.3, Section 5, I.]

Environmental Inspector has the authority to add and/or modify erosion/sedimentation controls on site to keep project in-compliance with the City of Austin Rules and Regulations. [LDC 25-8-183]

Contractor shall utilize dust control measures during site construction such as irrigation trucks and mulching as per ECM 1.4.5(A), or as directed by the Environmental Inspector.

The contractor will clean up spoils that migrate onto the roads a minimum of once daily."
[ECM 1.4.4.D.4]

- EV 10 Show the entire LOC in the ESC plans. The LOC along Barton Springs Rd. appears to continue off the page to the west and east.

- EV 11 Add the following details to the plan set [LDC 25-8-181, LDC 25-8-604, ECM 3.5.2, ECM 1.4.1.1(C)]:

- Concrete washout – if one will be used
- Curb inlet control

Fees and ESC Fiscal Surety [LDC 25-1-82, 25-7-65, 25-8-234]

- EV 12 Provide payment of the site plan environmental inspection fee prior to permit/site plan approval. Obtain invoice at COA Intake, or by calling 512-974-1770. Payment of the fee may be made at the first floor Cashier's Window. This comment will clear by providing receipt of payment to Environmental Reviewer

- EV 13 Send a fiscal estimate for erosion/sedimentation controls and revegetation based on ECM Appendix S-1 to pamela.abee-taulli@austintexas.gov. For sites with a limit of construction greater than one acre, the fiscal estimate must include a \$3000 per acre of LOC clean-up fee. The approved amount must be posted with the City prior to permit/site plan approval. [LDC 25-8-186, ECM 1.2.1, ECM Appendix S-1]

Flood Plain Review - Jason Recker - 512-974-2382

General Floodplain Comments:

- FP 1. It appears from the plans that there may be fill located in the 100-year floodplain. Applicant will need to demonstrate that the proposed development activities do not cause adverse floodplain impacts per LDC 25-7-61 including the following tasks:
- a. Show that the floodplain storage volume is conserved. The applicant should quantify the loss of floodplain storage volume resulting from the placement of fill within the floodplain and compensate for this loss with a compensatory cut or other method. Be aware that "fill" includes proposed buildings and piers which would diminish floodplain storage volume.

SP1. Provide a "Project Description" as a response in the next submittal, noting the type of development, total site size (acres and linear feet), and proposed impervious cover. Note that this project description will appear on the site development permit for this case.

ADMINISTRATIVE

SP2. Obtain all required signatures on the cover sheet prior to site plan approval.

SP3. Have you shown all existing and future dedicated easements, including joint access, drainage, conservation, utility, communication, etc.? Indicate volume and page or document number, or dedication by plat. All buildings, fences, landscaping, patios, flatwork and other uses or obstructions of a drainage easement are prohibited, unless expressly permitted by a license agreement approved by the City of Austin authorizing use of the easement. Please indicate if there are any easements proposed with this development.

SP4. Number each sheet submitted and indicate the total number of sheets on each sheet (e.g. 2 of 4). The total number of sheets is missing from sheet 1. The total number is illegible on sheet 13, 16, 18, 226

SP5. There are "alternate" sheets provided after sheet 249. Sheet numbers must be consecutive whole numbers with no letter or decimal suffixes such as A, B, C or .1, .2, .3. Please remove alternate sheets.

SP6. Sheets 21, 40-43, 45, 49-51, 78, 181-183, 196-198, 237 are blank. Please remove the blank sheets and ensure the index is corrected to reflect.

SP7. There is reference to 90% plans in Engineering report. If these plans are going to significantly change upon next submittal, please let the Case Manager know so that reviewers can treat it as a U0 review.

SP8. Show the project title (AIM South Lamar C1 Riverside Dr to Barton Springs Road) on each sheet of the site plan.

SP9. Show a north arrow on each sheet of site plan. It is missing from sheets 31. Please check for others.

SP10. Addressing has assigned the following address to the project: 204 ½ S Lamar. Show correct street address on each sheet.

SP11. Show the submittal date on the cover sheet as February 25, 2020.

SP12. Provide the 3 1/2" x 5" approval form in the lower right hand corner on the cover sheet only.

SP13. Please indicate the case number (SP-2020-0084D) in the lower right margin of each sheet.

SP14. Show any amenities, walls, fences, sidewalks, swimming pools and all other land improvements on each site plan sheet.

SP15. Show the location of all existing and proposed utility facilities on the site and adjacent right-of-way, including the exact locations and types of all utility lines, underground and overhead.

SP16. Add the following note to the coversheet: *"Approval of these plans by the City of Austin indicates compliance with applicable City regulations only. Approval by other governmental entities may be required prior to the start of construction. The applicant is responsible for determining what additional approvals may be necessary."*

- SP17. Note all adjoining land uses, and show all existing buildings on adjoining lots within 50 feet. If no buildings exist within 50 feet on adjoining lots, note this on the site plan sheet.
- SP18. Show the limits of construction on the site plan sheet. Include the area necessary for the construction of access drives and all off-site utility work. Limits of Construction must enclose a single contiguous area. There may only be one LOC on any site plan. Please show the entire LOC on one sheet and use whatever scale necessary.
- SP19. Show the following site plan release notes on the site plan:
- All improvements shall be made in accordance with the released site plan. Any additional improvements will require site plan amendment and approval of the Development Services Department.
 - Approval of this Site Plan does not include Building and Fire Code approval nor building permit approval
 - All signs must comply with requirements of the Land Development Code (Chapter 25-10).
 - Additional electric easements may be required at a later date.
 - Water and wastewater service will be provided by the City of Austin.
 - All existing structures shown to be removed will require a demolition permit from the City of Austin Development Services Dept.
 - A development permit must be issued prior to an application for building permit for non-consolidated or Planning Commission approved site plans.
 - For driveway construction: The owner is responsible for all costs for relocation of, or damage to utilities.
 - For construction within the right-of-way, a ROW excavation permit is required

FYI: Overlapping site plan case: SP-04-1150D

FYI: This project is in both the Butler Shores & Auditorium Shores Waterfront Overlay

FYI: This project is in the Scenic Roadways Overlay

FYI: Parts of this project are in the floodplain

FYI: Parts of this project are in the Edwards Aquifer Recharge Verification Zone

FYI: This project is partially in the Bouldin Creek Neighborhood Planning Area

FYI: A Capitol View Corridor intersects some of this project.

FYI This project is within the Residential Design Standards area

FYI: The Lamar Boulevard Bridge is a City of Austin Historic Landmark and is on the National Register

Site Plan Plumbing - Cory Harmon - 512-974-2882

There were no plans for update 0 uploaded to AMANDA. Provide a set of plans.

R.O.W. Review - Isaiah Lewallen - 512-974-1479

Approval pending revisions. Please provide update to Utility Coordination case.

Traffic Control Review - Shawn Jackson - 512-974-7832

Work site in near proximity that will be conflicting with multiple phases of this work. Please revise applicable sheets to account for "The Loren" work site and place note that coordination with the Loren construction shall occur. I suggest a field visit be conducted to verify current conditions. Any questions please feel free to contact me via email at shawn.jackson@austintexas.gov

ATD Engineering Review - Amber Mitchell - 512-974-3428

No ATD review required; CPO Bond Projects have already gone through rigorous review and approval process by all the ATD Divisions.

PARD / Planning & Design Review - Thomas Rowlinson - 512-974-9372

PR 1 Label the adjacent City parkland on all applicable sheet as follows:
City of Austin (Parkland)

PR 2 Please show property boundaries of City of Austin Parkland on all applicable sheets. Certain sheets showing work directly adjacent to parkland do not appear to have park boundaries/right-of-way extents, such as sheets 13, 17, 37, 76, 81, and other sheets associated with the intersection of W Riverside Drive and South Lamar Boulevard. Project work on parkland, including staging, cannot be approved except under the terms of the City Charter and Chapter 26 of the Texas Parks and Wildlife Code.

Water Quality Review - Kena Pierce - 512-974-7273

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WQ 1. The site does not meet Type 1 requirements for Fee-in-Lieu per ECM 1.6.4.B.1 but rather the Type II requirements which require on-site water quality controls. Please submit a water quality control plan for new & redeveloped impervious cover per LDC 25-8-211. Please see LDC 25-8-64 for more information on different types of improvements that are included and excluded from impervious cover calculations.

WQ 2. Please provide a separate sheet showing the different types of impervious cover and their quantities for the site in order for the reviewer to verify the new and redeveloped impervious cover locations and amounts. See ECM 1.9.0 for definitions of the different types of impervious cover.

Industrial Waste Review - Rachel Reddig - 512-972-1074

IW 1. The proposed improvements do not appear to impact any Industrial Waste sampling port locations in the scope of the project. Any plan changes that may alter any wastewater service access cleanouts or manholes must be resubmitted directly to this reviewer for approval.

AW Utility Development Services - Bradley Barron - 512-972-0078

AW 1. Per Utility Criteria Manual Section 2, §15-9, §25-4, §25-5, §25-9, and the Uniform Plumbing Code: The landowner intends to serve site with City of Austin water and wastewater utilities. The landowner, at own expense, will be responsible for providing any water and wastewater utility improvements, offsite main extensions, utility relocations and or abandonments required. The water and wastewater utility plan must be reviewed and approved by Austin Water for compliance with City criteria. All water and wastewater construction must be inspected by the City of Austin. The landowner must pay the City inspection fee with the utility construction. The landowner must pay the tap and impact fee once the landowner makes an application for a City of Austin water and wastewater utility tap permit.

FYI: For plan review status contact your assigned Pipeline Engineering reviewer.

- **§ 6-4-11(E) Mandatory Reclaimed Water Connection**
Except for municipal uses associated with law enforcement or public health and safety, all new commercial developments or redevelopments located within 250 feet of a reclaimed water distribution line are required to obtain and utilize permitted connections to reclaimed water for irrigation, cooling, and other significant non-potable water uses.
- **§ 15-9-9 – Criteria Manuals**
The Utilities Criteria Manual and the Water and Wastewater Design Criteria Manual apply to utility service provided under the Code. Source: Ord. 040805-02.

ELECTRONIC SUBMITTAL REQUIREMENT

- P 1. All Administrative Site Plan Revision, Consolidated Site Plan, Non-Consolidated Site Plan, CIP Streets and Drainage, Major Drainage/Regional Detention, and Subdivision Construction Plan applications require the additional items listed in the Electronic Submittal Exhibit of the application packet (formerly known as flash drive materials). Submit the final electronic submittal with the final PDFs of the plan set at approval and permitting.

END OF REPORT