

CITY OF AUSTIN – DEVELOPMENT SERVICES DEPARTMENT  
SITE PLAN APPLICATION – MASTER COMMENT REPORT



CASE NUMBER: SP-2019-0210C  
REVISION #: 00 UPDATE: U3  
CASE MANAGER: Robert Anderson PHONE #: 512-974-3026

PROJECT NAME: 1400 W Oltorf St  
LOCATION: 1400 W OLTORF ST W/UNITS

SUBMITTAL DATE: June 17, 2021  
REPORT DUE DATE: July 2, 2021  
FINAL REPORT DATE: July 2, 2021

**STAFF REPORT:**

This report includes all staff comments received to date concerning your most recent site plan submittal. The comments may include requirements, recommendations, or information. The requirements in this report must be addressed by an updated site plan submittal.

The site plan will be approved when all requirements from each review discipline have been addressed. However, until this happens, your site plan is considered disapproved. Additional comments may be generated as a result of information or design changes provided in your update.

If you have any questions, problems, concerns, or if you require additional information about this report, please do not hesitate to contact your case manager at the phone number listed above or by writing to the City of Austin, Development Services Department, P.O. Box 1088, Austin, Texas 78767.

**CONFLICT RESOLUTION PROCESS PILOT:**

We are piloting a new Conflict Resolution Process. Please complete this [form](#) if you have identified two or more comments in your Master Comment Report that are in conflict, meaning that you do not believe that both comments can be satisfied. Conflicts can only be submitted and resolved between review cycles; they cannot be submitted while the site plan is in review.

**UPDATE DEADLINE (LDC 25-5-113):**

It is the responsibility of the applicant or their agent to update this site plan application. **The final update to clear all comments must be submitted by the update deadline, which is December 31, 2021.** Otherwise, the application will automatically be denied. If this date falls on a weekend or City of Austin holiday, the next City of Austin workday will be the deadline.

**UPDATE SUBMITTALS:**

**A formal update submittal is required. Please bring a copy of this report with you upon submittal to Intake.** Updates may be submitted between the hours of 8:30 am and 4:00 pm. Updates submitted after 3 pm may be processed on the following business day.

**Please submit 12 copies of the plans and 13.0 copies of a letter** that address each comment for distribution to the following reviewers. Clearly label information or packets with the reviewer's name if intended for a specific reviewer. **No distribution is required for the Planner 1 and only the letter is required for Austin Water Utility Development Services.**

**Please note:** if Austin Water rejects a plan on Update 2, a fee is due at or before resubmittal. Please contact Intake for the fee amount.

**REVIEWERS:**

Planner 1 : Cindy Edmond  
Electric : Andrea Katz  
ATD Engineering : Amber Mitchell

Drainage Engineering : MD Moazzem Hossain  
City Arborist : Dillon Olsen  
Environmental : Babatunde Daramola  
Water Quality : MD Moazzem Hossain  
Wetlands Biologist : Ana Gonzalez  
AW Pipeline Engineering : Jaron Hogenson  
Fire For Site Plan : Marvin Lewis  
Flood Plain : Katina Bohrer  
Industrial Waste : Kelli Bruce  
Site Plan : Robert Anderson  
Transportation Planning : Adam Fiss  
AW Utility Development Services : Bradley Barron

**Electric Review - Andrea Katz - 512-322-6957**

EL 1. U3: **Comment stands.** Awaiting landscape plans with electric facilities.

**ATD Engineering Review - Amber Hutchens - 512-974-5646**

- ATD1. The Urban Trails Master Plan requires a Tier 2 trail along W Bouldin Creek. Please review the Urban Trails Master Plan for more information. Staff is in communication with the Urban Trails program to determine if right-of-way dedication and/or trail construction is required in accordance with LDC 25-6-55 and LDC 25-6-101. Staff will provide comments to the applicant separately.  
**U3:** Per email dated 8/20/2021 to applicant; a 20 ft easement along the southside of the property adjacent to the railroad track is requested per LDC 25-6-55, to allow for future trail construction.
- ATD2. Public right-of-way shall not be used for maneuvering. All maneuvering must be contained on-site. TCM, 9.3.0 #3.  
U1: If you intend to request a waiver for on-street trash pick-up please do so in writing so this reviewer can add the waiver fee and consider the request.  
U2: Comment not addressed.  
**U3:** Response noted; please make your request in writing for staff distribution. The waiver fee has been added to this permit so you may pay it online on Austin Build + Connect. Please include documentation from the solid waste service provider that has agreed to service the site in this way.
- ATD3. FYI – Please note the delineators within W Oltorf cannot be removed as it's federal requirement for the quiet-zone.  
U2: Comment not addressed.  
**U3:** Comment addressed.

**Drainage Engineering Review - MD Moazzem Hossain - 512-974-6307**

Release of this application does not constitute a verification of all data, information, and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not the application is reviewed for code compliance by city engineers.

- DE 3: Please check the provided Drainage Easement exhibit as it appears that the metes and bounds don't match with the easement indicated on the site plan. Also, provide complete easement document using the most appropriate template.
- DE 5: Sheet 16 – The design proposes 4" low flow orifice. Any orifice with a dimension smaller than or equal to 12 inches shall be assumed to be fully blocked in order to properly size the spillway, outfall, embankment and appurtenant structures. Please review and provide a model that demonstrate compliance with COA DCM Sec. 8.3.3.A.
- DE 7: Comment pending legal review. Please review and edit the document to be consistent for detention pond.
- DE 8: Comment cleared.
- DE 9: Comment cleared.
- DE 10: Sheet 15 – Please check CN value for Drainage Area DA1 in proposed conditions with the CN calculations provided. Update the calculation and model if necessary.
- DE 11: Sheet 16 – Please review sub-surface pond maintenance plan notes and update the pond type from water quality pond to detention pond.

<p><b>Environmental Review - Babatunde Daramola - 512-974-6316</b></p>
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Update 3      6/22/21

**ADMINISTRATIVE REQUIREMENTS**

EV 1    Comment cleared.

**DEMOLITION SHEET**

EV 2    Comment cleared.

**CRITICAL WATER QUALITY ZONE**

EV 3    Comment cleared.

**ESC REQUIREMENTS [LDC 25-7-61,65, 25-8-181,182,183,184]**

EV 4 – EV 10    Comments cleared.

**LANDSCAPE AND TREE MITIGATION**

EV 11 – EV 13    Comments cleared.

**FEES AND ESC FISCAL SURETY [LDC 25-1-82, 25-7-65, 25-8-234]**

EV 14    Provide payment of the site plan environmental inspection fee prior to permit/site plan approval. Obtain the invoice at COA Intake, or by calling 512-974-1770. Payment of the fee may be made at the first floor Cashier's Window. This comment will clear by providing a receipt of payment to the Environmental Reviewer.

**Update 1-3    Comment pending receipt of payment.**

EV 15    Payment of the landscape inspection fee is required prior to permit/site plan approval. Obtain the invoice at Intake on the fourth floor. For questions regarding landscape fee amount, call 512-974-1770. Payment of the fee is made at the first floor Cashier's Window. Upon payment, notify the environmental reviewer.

**Update 1-3    Comment pending receipt of payment.**

EV 16 Provide a fiscal estimate for erosion/sedimentation controls and revegetation based on Appendix S-1 of the Environmental Criteria Manual. For sites with a limit of construction greater than one acre, the fiscal estimate must include a \$3000 per acre of LOC clean-up fee. The approved amount must be posted with the City prior to permit/site plan approval. [LDC 25-8-186, ECM 1.2.1, ECM Appendix S-1]

Update 1 An ESC fiscal estimate was not included with this update. To ensure delivery, email the fiscal estimate to this reviewer at [Kristy.Nguyen@austintexas.gov](mailto:Kristy.Nguyen@austintexas.gov).

**Update 2-3 The ESC fiscal estimate has been approved. Contact the Fiscal Office at [fiscalsurety@austintexas.gov](mailto:fiscalsurety@austintexas.gov) for ESC fiscal posting instructions. Provide a receipt of payment to the Environmental Reviewer to clear this comment.**

#### **UPDATE 2 NEW COMMENTS**

EV 17 On the ESC plan sheet, for the legend item: LOC within CWQZ, include a reference to the CWQZ 609S LOC note.

**Update 3 Comment cleared.**

EV 18 Surface water should be prevented from entering into the LOC from offsite upslope areas. Provide silt fence along the entire upslope LOC boundary along Oltorf St and northern boundary to prevent surface water from draining into the LOC. [ECM 1.4.4.B.2]

**Update 3 Comment cleared.**

EV 19 Add the stabilized construction entrance (641S-1) detail to the plan set.

**Update 3 Comment cleared.**

EV 20 Provide landscape calculations according to the format found in ECM Appendix C. If calculations for a landscaping requirement is not applicable, use N/A for that line item.

**Update 3 Comment pending.**

EV 21 The proposed decomposed granite trail pathway within the CWQZ exceeds the 12' allowance prescribed in LDC 25-8-261 and ECM 1.5.3. Reduce the width of the trail pathway to 12' or less where it's within the CWQZ.

**Update 3 Comment pending.**

EV 22 For uniformity with other plan sheets, revise the "Bldg overhang" callout to "Roof overhang" on the landscape plan sheet.

**Update 3 Comment pending.**

EV 23 Add the following notes to the landscape plan:

*"If establishing vegetation during any stage of a drought, Section 6-4-30 may require a variance. Contact Austin Water Conservation staff at [waterusecompvar@austintexas.gov](mailto:waterusecompvar@austintexas.gov) or call (512) 974-2199.*

*The Owner will continuously maintain the required landscaping in accordance with LDC 25-2-984.*

*All landscaped areas are to be protected by 6-inch wheel curbs, wheelstops or other approved barriers as per ECM 2.4.7."*

[LDC 25-2-1004(A), ECM 2.4.7(A)]

**Update 3 Comment pending.**

EV 24 Add planting detail ECM Figure 3-14 to the landscape plans.

**Update 3 Comment pending.**

**Fire For Site Plan Review - Marvin Lewis - 512-974-0219**

June 30, 2021

Update 4 – Informal Update

**You must change the AFD fire Analysis Table on the cover page to indicate that there is an AMoC for this property. Site plans will not be signed by AFD until this change has been made.**

**AMoC to mitigate lack of access to the rear of the building. Full NFPA 13 AS system and Type 1A building required.**

Based on the fire hydrant flow test report, it appears that adequate fire flow is available to meet the 1500 GPM fire flow demand for this project. However, impacts to the Austin Water Utility (AWU) piping system due to providing the required fire flow for a development project are evaluated by and resolved through the staff of AWU. The maximum allowable flow velocity permitted in the public fire mains is 10 feet/second.

Contact me to schedule my signoff on the final mylar plan set once you have obtained approval signatures from the AWU. You must provide a means to electronically download the plans for my sign off. Contact me at [marvin.lewis@austintexas.gov](mailto:marvin.lewis@austintexas.gov) to schedule a time and date to download your plans and provide fire sign off. All AWU signatures must be obtained prior to AFD Sign Off.

**Flood Plain Review - Katina Bohrer - 512-974-3558**

Reviewer Notes: Site is located on the NW corner of Oltof at West Bouldin Creek. A portion of the property is within the FEMA floodplain per FIRM 48453C0585H effective date 9/26/2008. WSELs which affect the site are as follows: 25yr: upstream 543.72, downstream: 538.55; 100yr: upstream: 544.32, downstream 539.42; 500yr: upstream: 545.20, downstream: 540.38. The development as shown has a small portion of the proposed building located in the 100-yr floodplain, because of this, it may count as a floodplain modification and will need to be approved by ERM review. As currently shown, site will require a floodplain variance to be developed unless building encroachment is removed from the floodplain.

FP1. – FP4. Comment cleared.

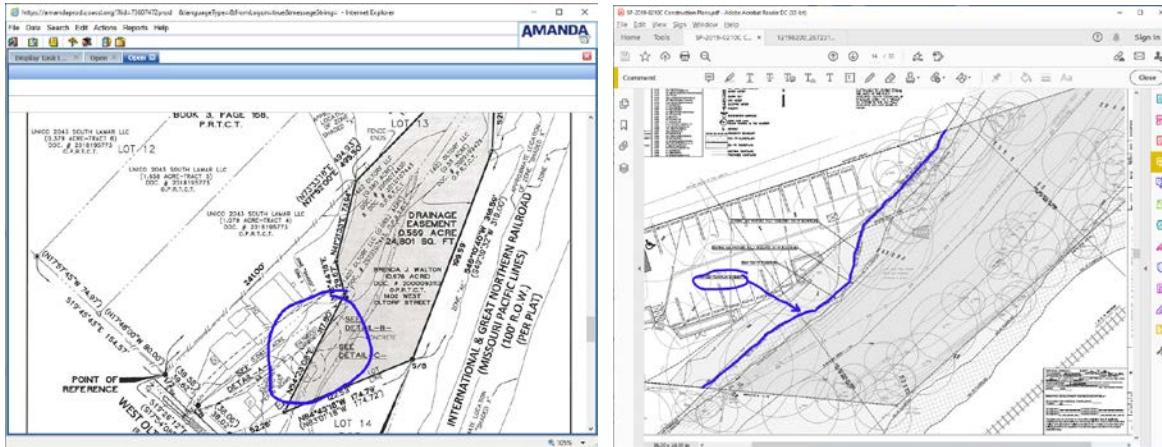
FP5. The applicant is required to contain the limits of the FEMA and City of Austin Regulatory floodplain within a drainage easement. Please provide documentation demonstrating this or provide requisite easement.

UPDATE 1: Pending dedication of easement. Be aware that because easement goes through building overhang that easement with allowed encroachments and required maintenance will be required (required maintenance because of the erosion hazard mitigation wall). Comment to remain open until easement has been recorded.

UPDATE 2: Pending. Be aware that a callout with the easement document number will be needed on the relevant plan set pages. Discuss with site plan reviewer the best pages to show the easement. (the easement is shown on the Floodplain page, but I don't know if the site plan reviewer also needs it shown on the Site Plan page)

**UPDATE 3: Pending. When easement has been dedicated, update the relevant plan set pages with easement document number. Only the metes and bounds was provided as "drainage easement," unfortunately, metes and bounds do not a drainage easement make. Because there is building overhang into the easement, the most appropriate easement template to use is likely the "With Permitted Obstructions" version (also, please add**

building overhang to the floodplain page so it is clear where the building overhangs into the easement). Additionally, the metes and bounds provided do not match the proposed easement as indicated on the plan set; notice how the easement metes and bounds provide a straight line in the circled area, but the site plan shows a non-straight line (see below). Provide updated metes/bounds and easement document, or update site plan page to match metes and bounds document:



FP6. – FP7. Comment Cleared.

FP8. Please show the Finished Floor Elevations (FFE) of the proposed buildings on the site. Buildings must have a FFE 1 foot greater than the adjacent floodplain's 100-year water surface elevation.

a. There are multiple areas which have "FFE" which I assume are finished floor elevations for those areas, however, there is no indication of the finished floor elevation for the parking area. Please clarify.

UPDATE 1: Enclosed areas are outside floodplain and are at least 1' above 100-year elevation. Applicant is strongly encouraged to ensure enclosed areas are at least 2' above 500-year elevation to be in compliance with Atlas 14 regulations. Parking garage area is open and allows for free-flow of water in/out of garage. Parking is allowed in the 100-year floodplain per LDC 25-7-95. Comment cleared. See Update 1 to FP18.

FP9. FYI: Please note that the current floodplain regulations require that the FFE of the proposed buildings adjacent to the 100-year floodplain must be 1' greater than the 100-year WSEL. City of Austin staff has proposed changes to the floodplain regulations to require FFE's be 2' above the current FEMA 500-year floodplain or Atlas 14 100-yr floodplain. FFE requirements will be based on current code at time of application.

UPDATE 1: Applicant is strongly encouraged to elevate enclosed areas to at least 2' above the 500-year flood elevation to ensure compliance with Atlas 14 regulations.

FP10. – FP15. Comment cleared.

FP16. To meet 2012 international building code, please include a note on the coversheet indicating that an elevation certificate will be required at form survey.

UPDATE 1: comment not addressed.

UPDATE 2: Comment not applicable since building is no longer in floodplain. Comment removed. FYI: Cover notes 15 and 18 referencing elevation certificates may be removed.

FP17. Include a note on the coversheet indicating that prior to obtaining a certificate of occupancy, an elevation certificate, completed post construction, will be required (contact Katina Bohrer at 512-974-3558)

UPDATE 1: comment not addressed.

UPDATE 2: Comment not applicable since building is no longer in floodplain. Comment removed. FYI Cover notes 15 and 18 referencing elevation certificates may be removed.

FP18. Comment cleared.

FP19. FYI: Our understanding of flood risk in Austin is changing. What is now known as the 500-year floodplain is a good representation of what the 100-year floodplain will be according to a National Weather Service publication called Atlas 14. This could affect the layout of this development, including the location of drainage easements, buildings, and parking areas. The City will likely be using the current 500-year floodplain as the design floodplain for commercial building permit review in the near future. In order to minimize flood risk to our community and better ensure that this lot can be developed in the future, the City of Austin recommends that you consider the 500-year floodplain as a surrogate for the 100-year floodplain when designing this development. Please contact this reviewer if you have any questions.

a. For this application, Atlas 14 will not have an impact on the review but be aware that future permits for the site may fall under Atlas 14 regulations depending upon when they are requested. It is likely that by the time construction is complete for this building/subdivision that Atlas 14 will be in effect for Austin thus changing the floodplain in the area and it is recommend that the Applicant and the Applicant's Engineer discuss flood resiliency and alterations which could be made to plan to reduce the risk of flooding of the proposed development (e.g. elevation of Finished Floors to be above current 500-year floodplain, floodproofing of areas below current 500-year floodplain, utilizing 500-year floodplain in place of the 100-year floodplain, etc.)

FP20. Additional comments may be added upon review of future updates.

FP21. FYI: Landscaping plan shows quite a few plants being added to the fringe of the floodplain, however, these plants maintain the COA modeled n-value so no changes are needed.

**Industrial Waste Review - Kelli Bruce - (512)972-1157**

June 29, 2021  
Update #3  
Informal Update

IW1. The status of this project remains "Informal Update" in AMANDA. This status does not imply final approval. The design engineer is responsible for submitting any revised plans and final plans directly to the Industrial Waste reviewer. Please contact me via email (kelli.bruce@austintexas.gov) to receive final approval signatures.

IW2. The site plan as shown meets Industrial Waste requirements. Henceforth, any changes made with respect to: water service and meters, backflow preventers, auxiliary water (e.g. reclaim, rain water, well water, etc.), wastewater lines / service connections, or the location of wastewater sampling / inspection ports (2-way cleanouts, large diameter cleanouts, and wastewater manholes) must be resubmitted to Industrial Waste for review.

**Site Plan Review - Robert Anderson - robert.anderson@austintexas.gov**

**SUBCHAPTER E – PRINCIPAL STREET: W OLTORF ST. (URBAN)**

SP1. Comment cleared.

§ 2.2: Relationship of Buildings to Streets and Walkways

SP2. 40% of the net frontage length of the property along the Urban Roadway must consist of continuous building façade built up to the clear zone, or the supplemental zone if one is provided. [Sec. 2.2.3.D.1]

Update 1: Comment cleared.

Update 2: Comment re-opened. Please add a call out to site plan and building plan sheets noting a supplemental zone along Oltorf Street because the building isn't placed at the property line.

**Update 3: Comment remains.** Please add a call out to site plan and building plan sheets noting a supplemental zone along Oltorf Street because the building isn't placed at the property line.

§ 2.4: Building Entryways

SP3. – SP5. Comment cleared.

§2.5: Exterior Lighting

SP6. Comment cleared.

§ 2.6: Screening of Equipment and Utilities

SP7. Verify compliance with screening requirements of Subchapter E, section 2.6.2 by a) Screening from view of person standing on property line on far side of adjacent public street: solid waste collection areas and mechanical equipment and rooftop equipment, not including solar panels (§ 2.6.2.A.; p. 52); b) Incorporate loading docks, truck parking, storage, trash collection/compaction, etc., into building/landscape design. And c) add the following note: Screening for solid waste collection and loading areas shall be the same as, or of equal quality to, principal building materials.

Update 1: Comment remains. Please show or verify that the solid waste collection areas and mechanical equipment is screened from view from across the adjacent public street. And, please add the note to the site plan sheet.

Update 2: Comment remains. Please add the note to the site plan sheet as requested in the original comment. The text of the required note is underlined above.

**Update 3: Comment cleared.**

§ 2.7: Private Common Open Space and Pedestrian Amenities

SP8. Comment cleared.

§ 2.8: Shade and Shelter

SP9. Comment cleared.

SP10. A shaded sidewalk must be provided alongside at least 50% of  
a. the roadway or internal circulation route where building frontage is provided under the requirements of this subchapter; and

b. any parking adjacent to the building [Section 2.8.2.A.1]

Update 1: Comment cleared.

Update 2: Comment re-opened. This update does not show the roofline on the site plan sheet.

Please show this element again. While the building footprint and roofline is shown very clearly on the building plan sheets, the building plan sheet does not show the sidewalk. The site plan sheet shows the sidewalk, but not the building overhang. Thus, it is difficult to evaluate for the sidewalk shade requirement.

**Update 3: Comment remains. Please call out the roofline in order to determine compliance.**

SP11. Comment cleared.

**DEMOLITIONS AND RELOCATIONS**

SP12. Comment cleared.

**COMPATIBILITY/SCREENING REQUIREMENTS**

Note: ~~Due to frontage at W Oltorf being less than 100 feet wide, the site is subject to small site compatibility provisions in 25-2-1062 and 25-2-1067.~~

The project is subject to large site compatibility provisions. The previous note indicating the site is subject to small site compatibility regulations is incorrect. The requirements listed in 25-2-1062 for small site compatibility requires a site to possess both a site area less than 20,000 square feet



**and** a street frontage less than 100 feet. The frontage of this site is less than 100 feet. However, the site area exceeds 20,000 square feet. Therefore, the small site compatibility provisions are not applicable.

Additionally, the Board of Adjustment on November 7, 2019 granted variances to the site, including:

- Decreasing the compatibility setback from 25 feet to 0 feet along the south property line; and
- Increasing the maximum height compatibility to 45 feet for retail/office uses.

SP13. – SP21. Comment cleared.

### **ZONING**

SP22. – SP23. Comment cleared.

### **ADMINISTRATIVE**

SP24. – SP26. Comment cleared.

SP27. Provide approval blocks in the lower right hand corner of each sheet. Note: No signature blocks should be within the approval space.

Update 1: Comment remains. Please include the following on the bottom right corner of each sheet.

Please also ensure this is done on the architectural sheets.

Update 2: Comment remains. Please include an approval block on sheet 28. Please also insert the salient text in the approval blocks for every sheet as indicated in comment P2 by the Planner 1. The information to be filled on includes:

- Page numbers
- Application date (May 14, 2019)
- Section and Chapter of Code (112, 25-5)
- Zoning (CS)
- Case Manager (R. Anderson)

**Update 3: Comment cleared.**

SP28. – SP30. Comment cleared.

SP31. Have you shown all existing and future dedicated easements, including joint access, drainage, conservation, utility, communication, etc.? Indicate volume and page or document number, or dedication by plat. All buildings, fences, landscaping, patios, flatwork and other uses or obstructions of a drainage easement are prohibited, unless expressly permitted by a license agreement approved by the City of Austin authorizing use of the easement. Please indicate if there are any easements proposed with this development.

Update 1: Comment pending approval and recordation of the proposed drainage easement.

Please add a note to the cover sheet for the drainage easement. When that document has been recorded, add the recordation number to the cover sheet note and throughout the plan set where the drainage easement is proposed. Please also provide a copy of the recorded document to the drainage reviewer and case manager.

Please also note on the cover sheet the referenced Subsurface Pond Maintenance Restrictive Covenant and include the recordation number when approved and recorded.

The transportation reviewer has also made reference to a sidewalk easement. If this is needed, please also add a note on the cover sheet for this legal instrument. When that document has been recorded, add the recordation number to the cover sheet note and throughout the plan set where the drainage easement is proposed. Please also provide a copy of the recorded document to the drainage reviewer and case manager.

**Update 2-3: Comment remains.** Please add notes to the cover sheet for the required drainage easement and sidewalk easement. When all three of the legal documents required are recorded

please provide copies of the recorded instruments to the case manager and the respective reviewer who requested them. Then add the recordation numbers to the cover sheet and to the plan sets throughout wherever the easements are called out.

SP32. – SP44. Comment cleared.

SP45. Note all adjoining land uses on the site plan sheet.

Update 1: Comment remains. Please show the zoning of the lots to the north and south of the proposed project.

**Update 2-3: Comment remains.** Thank you for showing the zoning. Please also indicate the land uses as requested in the original comment. Please list this below the zoning.

SP46. Show all existing buildings on adjoining lots within 50 feet of the site. If no buildings exist on adjoining lots, note this on the site plan sheet.

Update 1: Comment remains. There is a building to the immediate north which is not shown on the site plan sheet.

Update 2: Comment remains. There is a note on the site plan sheet saying “building.” Please show line work indicating the placement of the building footprint. General note 25 indicates a building might not yet be built. Please confirm the circumstances. If no building currently exists, you may remove the “building” callout from the site plan sheet.

**Update 3: Comment cleared.**

SP47. Comment cleared.

SP48. A new tax certificate showing all taxes paid will be required after February 1, 2020 if the site plan is not approved by that time.

Update 1: Comment remains. Please provide a new tax certificate showing all taxes are paid.

Update 2: Comment cleared.

**Update 3: Comment re-opened.** New tax certificates will be required showing taxes paid prior to the release of the site development permit.

SP49. Obtain all required signatures (Industrial Waste, Fire, and Water Utility) on the cover sheet prior to site plan approval.

**Update 1-3: Comment pending** the submittal of the final plan set.

#### **UPDATE 1 NEW COMMENT**

SP50. Please provide a note on the coversheet for any and all variances granted by boards or commissions. Multiple reviewers indicate such approvals may be necessary, and the Board of Adjustment has already granted multiple variances/waivers.

Update 2: Comment remains. Thank you for adding notes to the cover sheet. Please also include the Board of Adjustment decision sheet in the plan set.

**Update 3: Comment cleared.**

#### **UPDATE 2 NEW COMMENT**

SP51. The demolition plan sheet has changed since the last submittal. The wood patio no longer shows an X and Existing Tree 156 to be removed is no longer shown on the plans. Please clarify.

**Update 3: Comment cleared.**

SP52. FYI: It appears that sheet 28 is set to be a larger sheet size than the other sheets. Please confirm that all sheets are set to be 24" x 36" in size.

**Update 3: Comment cleared.**

SP53. There appears to be a sign on sheet 26. Please remove this text. Signs are approved under a separate process.

**Update 3: Comment cleared.**

SP54. Please confirm whether Austin Energy requested a signature line on the cover sheet. Austin Energy does not typically sign site plans. If a signature is not required on the cover sheet, please remove the signature line.

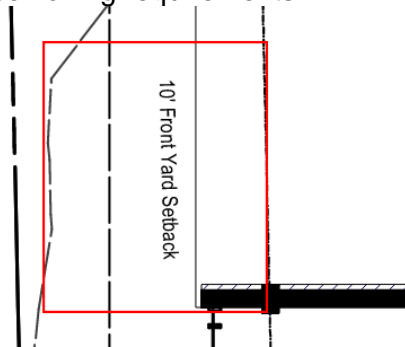
**Update 3: Comment cleared.**

SP55. New sheets have been included in this update. Please ensure sheet 28 contains the following information:

- Page numbers. (Remove the contradictory pagination)
- Case number
- Site address
- Approval Block

**Update 3: Comment cleared.**

SP56. The landscape sheet is new to this update. Please remove the text indicating a 10 foot front yard setback. While CS zoning districts have a 10 foot front yard setback, Subchapter E supersedes base zoning requirements.



**Update 3: Comment remains.**

**Transportation Planning - Adam Fiss - 512-974-1684**

### **SIDEWALKS**

TR1. Raised curbs on driveways must terminate at sidewalks. Indicate the termination of curbs and show the standard driveway detail. Do not show curb ramps at the driveway. TCM, 5.3.1.E; COA Std. No. 433-2.

**U3: Comment remains. Pending sidewalk easement where clear zone extends into private property. Please submit sidewalk to reviewer directly ([adam.fiss@austintexas.gov](mailto:adam.fiss@austintexas.gov)) for review and submittal to legal. If there are overhead elements the document should include obstructions.**

### **ADDITIONAL COMMENTS**

TR2. If roll-out bins are being proposed, then add the following notes to site plan sheet:

- Trash containers shall not be left at curb side unattended. Signs must be posted on the building or at a location that is publicly visible indicating that trash containers may not be left at curbside. The sign shall indicate the City of Austin's Code enforcement phone number for the public to report violations.
- A restrictive covenant may be required for enforcement purposes.
- Service commitment from a commercial trash service must be provided indicating they can provide service. The letter should address the minimum clearance requirement for the service vehicles.
- Public Works will recommend the appropriate signage for the loading space. A fee may be required by Public Works to pay for the required signage.

FYI- Trash dumpsters may be located to provide adequate access and maneuverability for service vehicles. Relocate the dumpster. LDC 25-2-1067(c); TCM, 9.3.0.2.

**U2: Comment remains.** Note 17 on site plan sheet indicates that solid waste will be collected from ROW. Please coordinate with ATD reviewer to determine if a maneuvering in the ROW waiver is

necessary. Comment may be cleared informally.  
**U3: Comment remains. Pending ATD determination.**

**U3 NEW COMMENTS**

- TR3. **All parking must be provided in accordance with design and construction standards of the TCM. LDC 25-6-563; TCM, Table 9-2. One of the compact spaces is dimensioned ed at 13.5'. Please revise. Consider reducing the side of the drive aisle to 24'. With 17' deep stalls, the modules may measure 58'.**
- TR4. **Include the following note on the site plan: Each compact parking space/aisle will be signed "compact only." LDC 25-6-475.**
- TR5. **Accessible parking spaces must be at least 8 ft. wide and have an adjacent access aisle at least 5 ft. wide. Two accessible parking spaces may share a common access aisle. One van-accessible space (8 ft. wide with an 8 ft. access aisle) must be provided for every 6 accessible spaces or fraction thereof. [ANSI 502.2, IBC 1106.5]. The access aisle may measure 5' only if the parking space is 11 feet wide.**
- TR6. **Include the following note on the site plan: Each compact parking space/aisle will be signed "compact only." LDC 25-6-475.**
- TR7. **Compact parking spaces must be located in groups of 3 or more spaces. LDC 25-6-475.**
- TR1. **This site is not eligible for VMU reductions because it is not proposing a vertical mixed use building. Is this even zoned VMU. You are eligible for the 20% urban core reduction. You stand a good chance of achieving the reduction to preserve significant strands of trees, in addition to a reduction for providing shower facilities.**
- TR2. **Please update the 'bike parking req'd' to show 5 spaces. The minimum bicycle parking, per Appendix A, Schedule C Part 2, is 5.**

**AW Utility Development Services - Bradley Barron - 512-972-0078**

- AW1. Per Utility Criteria Manual Section 2, §15-9, §25-4, §25-5, §25-9, and the Uniform Plumbing Code:  
The review comments will be satisfied once Pipeline Engineering has approved the water and wastewater utility plan. For plan review status contact your assigned Pipeline Engineering reviewer.

**Water Quality Review - MD Moazzem Hossain - 512-974-6307**

Release of this application does not constitute a verification of all data, information, and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not the application is reviewed for code compliance by city engineers.

WQ 3: Provide water quality easement for the rain garden area.

WQ 9: Infiltration Rate – Please review COA ECM Sec. 16.7.4 and Sec. 1.6.7.5.H. Update the design and calculation as necessary.

**Wetlands Biologist Review - Ana Gonzalez - 512-974-2929**

WETL 1. Comment cleared

WETL 2. Update 0. Please clearly show and label the standard 150 ft CEF setback and/or provide an alternative protection/ mitigation strategy compliant with and pursuant to (ECM 1.10.4(d) for all wetland CEFs. Alternative strategies must be appropriate and approved by this reviewer.

Update 1 Wetland CEF buffer not shown. Note on ESC sheet mentions wetland CEF coinciding with the CWQZ. The CWQZ already has development restrictions and assigning it as a CEF buffer does not meet the intent of code. Unless restoration of the CWQZ is proposed, it cannot be counted as meeting code and ECM intent. To consider the rainwater harvesting system as part of the mitigation, it needs to be approved first by the WQ reviewer.

Update 2

a. Please modify the size of container trees from 30 gallon to 1-gallon (or saplings as plugs or bare root) specimens (at a 30-1 conversion ratio; e.i. 30 1-gallon specimens for each 30-gallon as shown in the plan) for those trees planting within the CWQZ.

**Update 3** comment pending submittal of planting plan

b. Please remove the proposed decompose granite patio and substitute with a mulch trail within the CWQZ with a maximum width of 12'. An alternative to a mulch trail is a permeable pavement 12' trail.

**Update 3** please either remove the patio area from the CEF buffer (not allowed in the CEF buffer even if allowed in the CWQZ), propose it as a boardwalk or patio on piers, or propose additional mitigation for the encroachment (this will require modifying the boundary of the CEF buffer to exclude the patio).

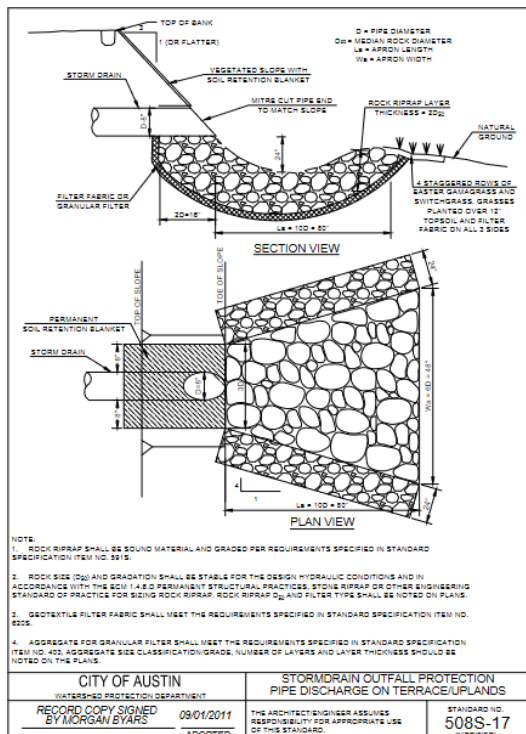
c. Please label the CWQZ as "CWQZ and CEF Buffer"

**Update 3** label says CWQZ/Buffer zone. Please modify label as "CWQZ and CEF Buffer"

WETL 3. Comment cleared

### UPDATE 3 NEW COMMENT

WETL 4. **Update 3** Please modify the outfall of the detention pond to form a armored stilling basin per the following detail (this reviewer can provide a pdf or dwg upon request (ana.gonzalez@austintexas.gov)



THE MAJOR REASONS FOR REJECTION OF THIS SUBMITTAL INCLUDE, BUT NOT LIMITED TO NON-COMPLIANCE WITH CITY CODE SECTIONS:

- **§ 25-4-191 – Water Lines**

*A subdivision within 100 feet of a public water system must be connected to the public water system. The director may waive this requirement.*

*If a subdivision is to be served by a public water system:*

- *approval of the water system plans by the director of the Water and Wastewater Utility is required;*
- *installation of the water system must comply with the requirements of this title and the Utilities Criteria Manual; and*
- *water lines to serve each lot must be installed before a lot may be occupied.*

*Source: Section 13-2-476; Ord. 990225-70; Ord. 031211-11.*

- **§ 25-4-192 – Wastewater Lines**

*A subdivision within 100 feet of a public wastewater system must be connected to the public wastewater system. In the extraterritorial jurisdiction, the director may waive this requirement. In the zoning jurisdiction, this requirement may be waived under Section 25-9-4 (Connection To Organized Wastewater System Required).*

*If a subdivision is to be served by a public wastewater system or community disposal system, wastewater lines to serve each lot must be installed before a lot may be occupied.*

*Source: Section 13-2-475; Ord. 990225-70; Ord. 031211-11.*

- **§ 6-4-11(E) Mandatory Reclaimed Water Connection**

*Except for municipal uses associated with law enforcement or public health and safety, all new commercial developments or redevelopments located within 250 feet of a reclaimed water distribution line are required to obtain and utilize permitted connections to reclaimed water for irrigation, cooling, and other significant non-potable water uses.*

- **§ 15-9-9 – Criteria Manuals**

*The Utilities Criteria Manual and the Water and Wastewater Design Criteria Manual apply to utility service provided under the Code.*

*Source: Ord. 040805-02.*

- **§ 15-9-152 – Design and Installation Guidelines**

*The directors of the Electric Utility and the Water Utility shall adopt design and installation guidelines related to a customer's installation and the City's service connection.*

*A person authorized to install a customer's installation or the City electric utility equipment or facilities shall comply with the City's "Utilities Criteria Manual."*

*A person authorized to install a customer's installation or the City's water utility equipment or facilities shall comply with the City's Utilities Criteria Manual, standards, and specifications.*

*Source: 2003 Code Sections 15-9-211(A) and (B); 1992 Code Sections 18-4-300(A) and (B); Ord. 040805-02; Ord. No. [20180524-006](#), Pt. 8, 6-4-18.*

- **TCEQ Chapter §291.93. Adequacy of Water Utility Service.**

*Sufficiency of service. Each retail public utility which provides water service shall **plan**, furnish, **operate**, and **maintain** production, treatment, storage, transmission, and distribution facilities of sufficient size and capacity to provide a continuous and adequate supply of water for all reasonable consumer uses.*

- **TCEQ Chapter §291.94. Adequacy of Sewer Service.**

*Sufficiency of service. Each retail public utility shall **plan**, furnish, **operate**, and **maintain** collection, treatment, and disposal facilities to collect, treat and dispose of waterborne human waste and waste from domestic activities such as washing, bathing, and food preparation. These facilities must be of sufficient size to meet the minimum design criteria for wastewater facilities of the commission for all normal demands for service and provide a reasonable reserve for emergencies.*

*In addition, this specific project does meet with the following Utility Criteria Manual sections 2.2.0 thru 2.9.*

*In accordance with section 15-9-276 of City Code, the project will need dedicated and recorded water/wastewater or reclaimed water easements.*

- **§217.321. Safety Design of a Wastewater Treatment Facility.**

*(b) Occupational **safety and health hazards, and risks to workers and the public**, must be addressed in the design of collection system and wastewater treatment facility equipment and processes.*

- **§291.95. Standards of Construction.**

In determining standard practice, the commission will be guided by the provisions of the American Water Works Association, and such other codes and standards that are generally accepted by the industry, except as modified by this commission, or municipal regulations within their jurisdiction. Each system shall construct, install, operate, and maintain its plant, structures, equipment, and lines in accordance with these standards, and in such manner to best accommodate the public, and to prevent interference with service furnished by other retail public utilities insofar as practical.

**A COMPLETE ALL-INCLUSIVE LIST OF COMMENTS ALONG WITH CODE CITATIONS IS PROVIDED ON THE RED LINED PLANS LOCATED ON THE AUSTIN BUILD + CONNECT PUBLIC SEARCH, PLEASE SEE LINK <https://abc.austintexas.gov/web/permit/public-search-other?reset=true>. IF THERE ARE ANY ISSUES WITH THE RETRIEVAL, CONTACT YOUR PIPELINE ENGINEERING REVIEWER FOR A DIRECT DOWNLOAD LINK.**

RESPONSES TO ALL OF THE RED LINED COMMENTS/QUESTIONS MUST BE MADE IN A DIFFERENT COLOR ON THE PLAN SET WITH AN EXPLANATION OF HOW AW COMMENTS/QUESTIONS HAVE BEEN ADDRESSED.

PLEASE INDICATE IF THE PROJECT WILL BE SUBMITTED TO AULCC FOR REVIEW AND IF SO, INCLUDE ROW ID# and UCC PERMIT # ON THE UTILITY PLAN SHEET.

**City Arborist Review - Dillon Olsen - 512-974-2515**

Note: Please e-mail me if you have any questions, concerns, or require additional information about these comments: [Dillon.Olsen@austintexas.gov](mailto:Dillon.Olsen@austintexas.gov). You may also e-mail me if you would like to schedule a phone or virtual meeting to discuss the review comments. Updates cannot be reviewed outside of the update review cycle. If you have questions about DSD's response to COVID-19 please go to <https://www.austintexas.gov/page/dsd-covid-19>.

Update 3

**TREE PROTECTION REQUIREMENTS [LDC 25-8-604, 624, ECM 3.3.0, 3.4.0, 3.5.0]**

- CA2 U0-U2: Please note that at the start of the new fiscal year (October 1, 2018) City Arborist review fee is created at completeness check and is based on the number of regulated trees within (or CRZ touching) the LOC. City Arborist review cannot be completed until the fee is created and paid.  
**U3: Comment pending.**
- CA4 **U3: Comment reopened:** Remove silt fence from the critical root zone of trees within the LOC and replace with mulch socks (see CRZs in the northeastern corner of the property). Silt fence requires 6" of cut for installation.
- CA5 U0-U2: Extend all tree protection fencing to the full extent of the critical root zone (CRZ) where possible. If fencing cannot be installed around the full CRZ, place the fencing at the ½ CRZ and add 8" of hardwood mulch from the ½ CRZ to the full CRZ. If fencing cannot be installed around the ½ CRZ, provide a call-out stating: "2x4x6 or greater size lumber shall be strapped vertically to the tree and 8" of hardwood mulch shall be applied within the Full CRZ." Thank you for adding the tree protection note/call-outs to the Erosion & Sedimentation Control Plan. Tree protective fencing needs to be extended to the maximum extent feasible of the critical root zones of trees to be preserved. ~~For example, and this is not all-inclusive for trees on site, trees #155, #175, #184, and #188 have large areas of the critical root zone currently shown as missing protective fencing.~~ Areas left open for access still have additional critical root zone that should be encompassed by tree protective fencing, and covered by mulch, per ECM 3.5.2. Tree protective fencing is required to be in place during any demolition phase.  
**Please show tree protection fence on the Demolition Plan. Where demolition is to occur within the ½ CRZ's of trees to be preserved, please add call-outs specifying the use of only hand-tools, referencing Special Construction Techniques ECM 3.5.4(D).**  
**U3: Comment pending.** Please extend tree protection fencing to enclose as much of the critical root zones as possible for trees #1828-1843, and Heritage Tree #1856. Where tree protection fencing cannot be extended for Heritage Tree #1856 and Heritage Tree #1828, please add the following information in a call-out for these trees:
- In critical root zone areas that cannot be protected during construction with fencing and where heavy vehicular traffic is anticipated, cover those areas with a minimum of 12 inches of organic mulch to minimize soil compaction. In areas with high soil plasticity Geotextile fabric, per standard specification 620S, should be placed under the mulch to prevent excessive mixing of the soil and mulch. Additionally, material such as plywood and metal sheets, shall be required by the City Arborist to minimize root impacts from heavy equipment. Once the project is completed, all materials should be removed, and the mulch should be reduced to a depth of 3 inches.
  - Trunk armor to be added to avoid mechanical impacts: strapping 2x4 or thicker lumber (to match height of building) securely around tree trunk, buttress roots, and root flare, is required if fencing cannot go around the entire ½ CRZ.
- CA6 U0-U2: Trees proposed to be preserved must meet the following criteria:
- (a) A minimum of 50% of the critical root zone must be preserved at natural grade, with natural ground cover;
  - (b) Cut or fill is limited to 4 inches from the ½ critical root zone to the ¼ critical root zone; and
  - (c) No cut or fill is permitted within the ¼ critical root zone.  
[ECM 3.5.2, ECM Appendix V Figure 3-6]  
See remaining preservation criteria related comments. Additionally, please remove proposed landscape plantings from within the ½ CRZ of trees to be preserved. These plantings would necessitate cut greater than 4".  
**U3: Comment pending.** Please demonstrate that the over-build/over-excavation of the parking structure does not require changes to grade greater than 4" in the ½ CRZs of Heritage Live Oak #1828 and Protected Cedar Elm #1832. Please show the required over-build/over-excavation in a plan exhibit, relative to Heritage Live Oak #1828 and Protected Cedar Elm #1832.



- CA7 U0-U2: Heritage trees 175 (#1856) and 188 (#1832) are proposed to be preserved but do not meet tree preservation criteria. Please adjust the design to pull all proposed construction out of the CRZ as follows:
- (a) A minimum of 50% of the critical root zone must be preserved at natural grade, with natural ground cover;
  - (b) Cut or fill is limited to 4 inches from the ½ critical root zone to the ¼ critical root zone; and
  - (c) No cut or fill is permitted within the ¼ critical root zone.
- [ECM 3.5.2, ECM Appendix V Figure 3-6]  
**U3: Comment removed** – removed for redundancy. Please see CA6.
- CA8 U0-U2: Provide a Tree Mitigation Plan compliant with Chapter 25-8, Subchapter B, Article 1, Division 2 of the City of Austin Land Development Code and Section 3 of the City of Austin Environmental Criteria Manual. Further tree mitigation review and comments are pending. No landscape plans provided at this time.  
 Thank you for providing the Landscape Plans. No less than 75% of the total caliper inches of mitigation trees required must be represented by significant shade trees located in the ECM Appendix F. The remaining 25% of total caliper inches may be represented by a mixture of the ECM Appendix F tree species. All trees selected must be suitable for the environment of the immediate planting site (see ECM Appendix F for specific categorization such as tree, soil, site, or regulatory qualities). [ECM 3.5.4.]  
**U3: Comment pending.**
- CA9 U0-U2: Tree mitigation must be provided (at minimum) at the following rates:
- Heritage trees: 300%
  - 19 inches and greater, ECM Appendix F trees: 100%
  - 8 to 18.9 inches, ECM Appendix F trees: 50%
  - 19 inches and greater, all other trees: 50%
  - 8 to 18.9 inches, all other trees: 25% [ECM 3.5.4]
- Note: No mitigation is required for the removal of non-native invasive species.  
 Mitigation review pending the tree preservation compliance.  
**U3: Comment pending.**
- CA10 U0-U2: For urban forest accounting purposes, please provide the following information on the plan after all landscaping and/or tree-related comments are cleared:
- Total Appendix F tree inches surveyed;
  - Total Appendix F tree inches removed;
  - Total Non-Appendix F and Invasive removed;
  - Total mitigation inches planted on site;
  - Total dead inches removed; and
  - Total non-mitigation inches planted on site.
- [ECM 3.5.4]  
**U3: Comment pending.** To be cleared after all preservation and/or mitigation comments have been cleared.
- CA11 U0-U2: Have canopy impacts been assessed for the regulated trees to remain? No more than 25% of the canopy can be removed. Demonstrate how the construction of the proposed building, including the installation of scaffolding, does not require removal of more than 25% of the canopy of the preserved trees. [ECM 3.4.3, 3.5.2] No information provided at this time. The proposed buildings are shown to be 3-story structures, while existing structures are single-story. In some instances, the proposed and existing buildings' locations overlap. Please show the canopies of the trees adjacent to multi-story structures proposed.  
**U3: Comment pending.** Canopy preservation for Heritage Live Oak 1828 and Protected Cedar Elm 1832:
- Provide a tree canopy assessment by a qualified 3rd party arborist that studies the overall proposed impacts to the canopy, identifies and shows the exact location of major pruning cuts,

and estimates the overall canopy percentage to be removed. Consider space needed during construction for equipment and scaffolding.

- Pruning is to be in accordance with the most recent ANSI A300 pruning standard. No more than 25% of the foliage should be removed within an annual growing season, and that the percentage and distribution of foliage to be removed shall be adjusted according to the plant's species, age, health, and site. In situations where more than 25 percent is requested, a tree permit is required. The City Arborist will determine if the intent of crown preservation is met.

CA14 **U3: Comment cleared.**

CA15 **U3: Comment added.** Tree 1850 has been removed. Please provide the tree permit referencing this removal. If no permit/approval was obtained for this removal, further mitigation review and comments apply.

Please add tree information to the tree survey tree list.

Note: Please be advised that additional comments may be generated as update information is reviewed. If an update has been rejected, reviewers are not able to clear comment(s) based on phone calls, emails, or meetings, but must receive formal updates in order to confirm positive plan set changes.

**Planner 1 Review - Cindy Edmond - 512-974-3437**

P1. Fill out the Site Plan Approval blocks with the following information in **bold**.

- **Sheet numbers**
- File number: **SP-2019-0210C**
- Application date: **May 14, 2019**
- **Under Section 112 of Chapter 25-5 of the City of Austin Code**
- Case Manager: R Anderson
- Zoning: please add

P2. **ELECTRONIC SUBMITTAL REQUIREMENT**

All Administrative Site Plan Revision, Consolidated Site Plan, Non-Consolidated Site Plan, CIP Streets and Drainage, Major Drainage/Regional Detention, and Subdivision Construction Plan applications require the additional items listed in the Electronic Submittal Exhibit of the application packet (formerly known as flash drive materials). Submit the final electronic submittal with the final PDFs of the plan set at approval and permitting.

End of report