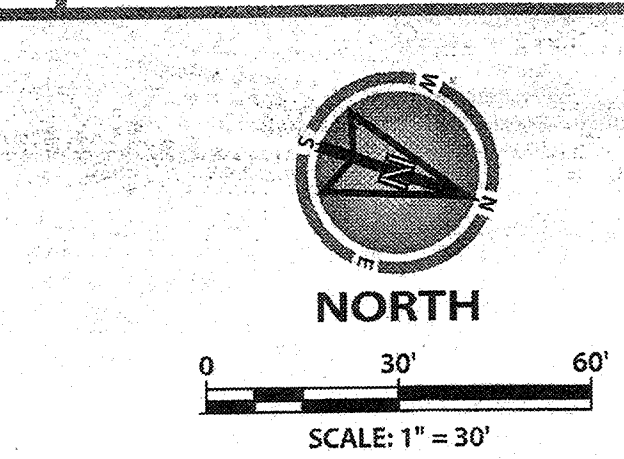
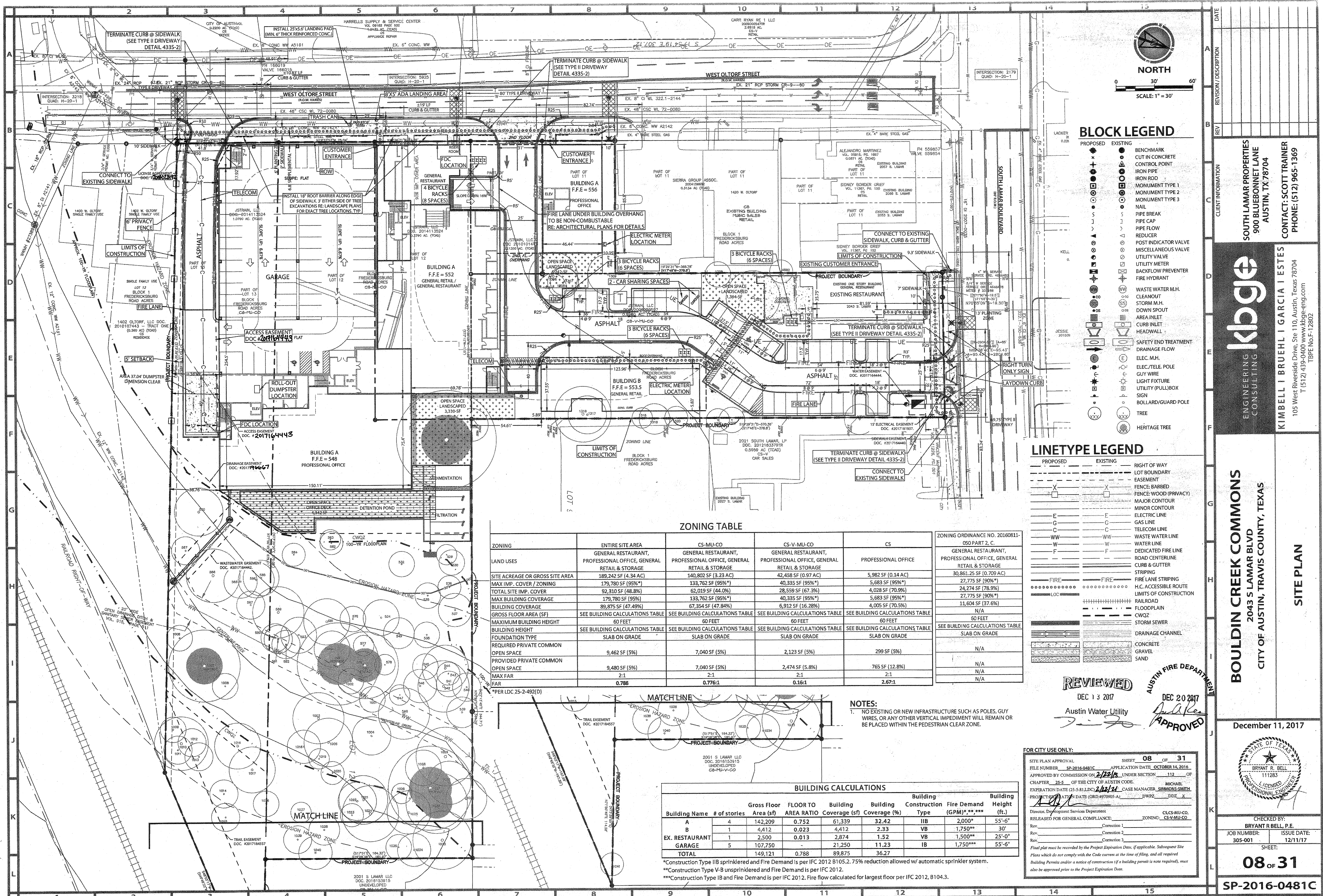




- ### BLOCK LEGEND
- | PROPOSED | EXISTING | DESCRIPTION |
|----------|----------|----------------------|
| (Symbol) | (Symbol) | BENCHMARK |
| (Symbol) | (Symbol) | CUT IN CONCRETE |
| (Symbol) | (Symbol) | CONTROL POINT |
| (Symbol) | (Symbol) | IRON PIPE |
| (Symbol) | (Symbol) | IRON ROD |
| (Symbol) | (Symbol) | MONUMENT TYPE 1 |
| (Symbol) | (Symbol) | MONUMENT TYPE 2 |
| (Symbol) | (Symbol) | MONUMENT TYPE 3 |
| (Symbol) | (Symbol) | PIPE BREAK |
| (Symbol) | (Symbol) | PIPE CAP |
| (Symbol) | (Symbol) | PIPE FLOW |
| (Symbol) | (Symbol) | REDUCER |
| (Symbol) | (Symbol) | POST INDICATOR VALVE |
| (Symbol) | (Symbol) | MISCELLANEOUS VALVE |
| (Symbol) | (Symbol) | UTILITY VALVE |
| (Symbol) | (Symbol) | UTILITY METER |
| (Symbol) | (Symbol) | BACKFLOW PREVENTER |
| (Symbol) | (Symbol) | FIRE HYDRANT |
| (Symbol) | (Symbol) | WASTE WATER M.H. |
| (Symbol) | (Symbol) | CLEANOUT |
| (Symbol) | (Symbol) | STORM M.H. |
| (Symbol) | (Symbol) | DOWN SPOUT |
| (Symbol) | (Symbol) | AREA INLET |
| (Symbol) | (Symbol) | CURB INLET |
| (Symbol) | (Symbol) | HEADWALL |
| (Symbol) | (Symbol) | SAFETY END TREATMENT |
| (Symbol) | (Symbol) | DRAINAGE FLOW |
| (Symbol) | (Symbol) | ELEC. M.H. |
| (Symbol) | (Symbol) | ELEC./TELE. POLE |
| (Symbol) | (Symbol) | GUY WIRE |
| (Symbol) | (Symbol) | LIGHT FIXTURE |
| (Symbol) | (Symbol) | UTILITY (PULL) BOX |
| (Symbol) | (Symbol) | SIGN |
| (Symbol) | (Symbol) | BOLLARD/GUARD POLE |
| (Symbol) | (Symbol) | TREE |
| (Symbol) | (Symbol) | HERITAGE TREE |

- ### LINETYPE LEGEND
- | PROPOSED | EXISTING | DESCRIPTION |
|--------------|--------------|------------------------|
| (Line Style) | (Line Style) | RIGHT OF WAY |
| (Line Style) | (Line Style) | LOT BOUNDARY |
| (Line Style) | (Line Style) | EASEMENT |
| (Line Style) | (Line Style) | FENCE BARBED |
| (Line Style) | (Line Style) | FENCE WOOD (PRIVACY) |
| (Line Style) | (Line Style) | MAJOR CONTOUR |
| (Line Style) | (Line Style) | MINOR CONTOUR |
| (Line Style) | (Line Style) | ELECTRIC LINE |
| (Line Style) | (Line Style) | GAS LINE |
| (Line Style) | (Line Style) | TELECOM LINE |
| (Line Style) | (Line Style) | WASTE WATER LINE |
| (Line Style) | (Line Style) | WATER LINE |
| (Line Style) | (Line Style) | DEDICATED FIRE LINE |
| (Line Style) | (Line Style) | ROAD CENTERLINE |
| (Line Style) | (Line Style) | CURB & GUTTER |
| (Line Style) | (Line Style) | STRIPING |
| (Line Style) | (Line Style) | FIRE LANE STRIPING |
| (Line Style) | (Line Style) | H.C. ACCESSIBLE ROUTE |
| (Line Style) | (Line Style) | LIMITS OF CONSTRUCTION |
| (Line Style) | (Line Style) | RAILROAD |
| (Line Style) | (Line Style) | FLOODPLAIN |
| (Line Style) | (Line Style) | CWQZ |
| (Line Style) | (Line Style) | STORM SEWER |
| (Line Style) | (Line Style) | DRAINAGE CHANNEL |
| (Line Style) | (Line Style) | CONCRETE |
| (Line Style) | (Line Style) | GRAVEL |
| (Line Style) | (Line Style) | SAND |

ZONING TABLE				
ZONING	ENTIRE SITE AREA	CS-MU-CO	CS-V-MU-CO	CS
LAND USES	GENERAL RESTAURANT, PROFESSIONAL OFFICE, GENERAL RETAIL & STORAGE	GENERAL RESTAURANT, PROFESSIONAL OFFICE, GENERAL RETAIL & STORAGE	GENERAL RESTAURANT, PROFESSIONAL OFFICE, GENERAL RETAIL & STORAGE	PROFESSIONAL OFFICE
SITE ACREAGE OR GROSS SITE AREA	189,242 SF (4.34 AC)	140,802 SF (3.23 AC)	42,458 SF (0.97 AC)	5,982 SF (0.14 AC)
MAX IMP. COVER / ZONING	179,780 SF (95%*)	133,762 SF (95%*)	40,335 SF (95%*)	5,683 SF (95%*)
TOTAL SITE IMP. COVER	92,310 SF (48.8%)	62,019 SF (44.0%)	28,559 SF (67.3%)	4,028 SF (70.9%)
MAX BUILDING COVERAGE	179,780 SF (95%)	133,762 SF (95%*)	40,335 SF (95%*)	5,683 SF (95%*)
BUILDING COVERAGE	89,875 SF (47.49%)	67,354 SF (47.84%)	6,912 SF (16.28%)	4,005 SF (70.5%)
GROSS FLOOR AREA (SF)	SEE BUILDING CALCULATIONS TABLE	SEE BUILDING CALCULATIONS TABLE	SEE BUILDING CALCULATIONS TABLE	SEE BUILDING CALCULATIONS TABLE
MAXIMUM BUILDING HEIGHT	60 FEET	60 FEET	60 FEET	60 FEET
BUILDING HEIGHT	SEE BUILDING CALCULATIONS TABLE	SEE BUILDING CALCULATIONS TABLE	SEE BUILDING CALCULATIONS TABLE	SEE BUILDING CALCULATIONS TABLE
FOUNDATION TYPE	SLAB ON GRADE	SLAB ON GRADE	SLAB ON GRADE	SLAB ON GRADE
REQUIRED PRIVATE COMMON OPEN SPACE	9,462 SF (5%)	7,040 SF (5%)	2,123 SF (5%)	299 SF (5%)
PROVIDED PRIVATE COMMON OPEN SPACE	9,480 SF (5%)	7,040 SF (5%)	2,474 SF (5.8%)	765 SF (12.8%)
MAX FAR	2:1	2:1	2:1	2:1
FAR	0.788	0.776:1	0.16:1	2.67:1

*PER LDC 25-2-492(D)

ZONING ORDINANCE NO. 20160811-050 PART 2.C.	
GENERAL RESTAURANT, PROFESSIONAL OFFICE, GENERAL RETAIL & STORAGE	30,861.25 SF (0.709 AC)
MAXIMUM BUILDING HEIGHT	27,775 SF (90%*)
MAXIMUM BUILDING COVERAGE	24,274 SF (78.9%)
MAXIMUM BUILDING COVERAGE	27,775 SF (90%*)
MAXIMUM BUILDING COVERAGE	11,604 SF (37.6%)
MAXIMUM BUILDING HEIGHT	N/A
MAXIMUM BUILDING HEIGHT	60 FEET
MAXIMUM BUILDING HEIGHT	SEE BUILDING CALCULATIONS TABLE
MAXIMUM BUILDING HEIGHT	SLAB ON GRADE
MAXIMUM BUILDING HEIGHT	N/A
MAXIMUM BUILDING HEIGHT	N/A
MAXIMUM BUILDING HEIGHT	N/A

NOTES:
1. NO EXISTING OR NEW INFRASTRUCTURE SUCH AS POLES, GUY WIRES, OR ANY OTHER VERTICAL IMPEDIMENT WILL REMAIN OR BE PLACED WITHIN THE PEDESTRIAN CLEAR ZONE.

BUILDING CALCULATIONS									
Building Name	# of stories	Gross Floor Area (sf)	FLOOR TO AREA RATIO	Building Coverage (sf)	Building Coverage (%)	Building Construction Type	Fire Demand (GPM)**	Fire Demand (ft.)	Building Height (ft.)
A	4	142,209	0.752	61,339	32.42	IIB	2,000*	30'	55'-6"
B	1	4,412	0.023	4,412	2.33	VB	1,750**	30'	25'-0"
EX. RESTAURANT	1	2,500	0.013	2,874	1.52	VB	1,500**	25'-0"	25'-0"
GARAGE	5	107,750		21,250	11.23	IB	1,750***	55'-6"	55'-6"
TOTAL		149,121	0.788	89,875	36.27				

*Construction Type IIB sprinklered and Fire Demand is per IFC 2012 8105.2. 75% reduction allowed w/ automatic sprinkler system.
**Construction Type VB unsprinklered and Fire Demand is per IFC 2012.
***Construction Type IB and Fire Demand is per IFC 2012. Fire flow calculated for largest floor per IFC 2012, 8104.3.

REVIEWED
DEC 13 2017
Austin Water Utility

AUSTIN FIRE DEPARTMENT
DEC 20 2017
APPROVED

FOR CITY USE ONLY:

SITE PLAN APPROVAL	SHEET 08 OF 31
FILE NUMBER SP-2016-0481C	APPLICATION DATE OCTOBER 14, 2016
APPROVED BY COMMISSION ON 2/22/18	UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE
EXPIRATION DATE (25-5-81) LDC 2/22/21	CASE MANAGER SIMMONS-SMITH
PROJECT EXPIRATION DATE (ORD 897005-A)	DWZ DZ X
Director, Development Services Department	CS, CS-MU-CO, CS-V-MU-CO
RELEASED FOR GENERAL COMPLIANCE:	ZONING: CS-V-MU-CO
Rev. Correction 1	
Rev. Correction 2	
Rev. Correction 3	

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

BOULDIN CREEK COMMONS
2043 S LAMAR BLVD
CITY OF AUSTIN, TRAVIS COUNTY, TEXAS

SITE PLAN

CLIENT INFORMATION

SOUTH LAMAR PROPERTIES
900 BLUEBONNET LANE
AUSTIN, TX 78704
CONTACT: SCOTT TRAINER
PHONE: (512) 965-1369

KIMBELL | BRUEHL | GARCIA | ESTES
105 West Riverside Drive, Ste 110, Austin, Texas 78704
T (512) 439-0400 www.kbge-eng.com
TYPE No. F-12802

kbge
ENGINEERING
CONSULTING

December 11, 2017

CHECKED BY:
BRYANT R. BELL, P.E.
JOB NUMBER: 305-001
ISSUE DATE: 12/11/17
SHEET: 08 OF 31

SP-2016-0481C