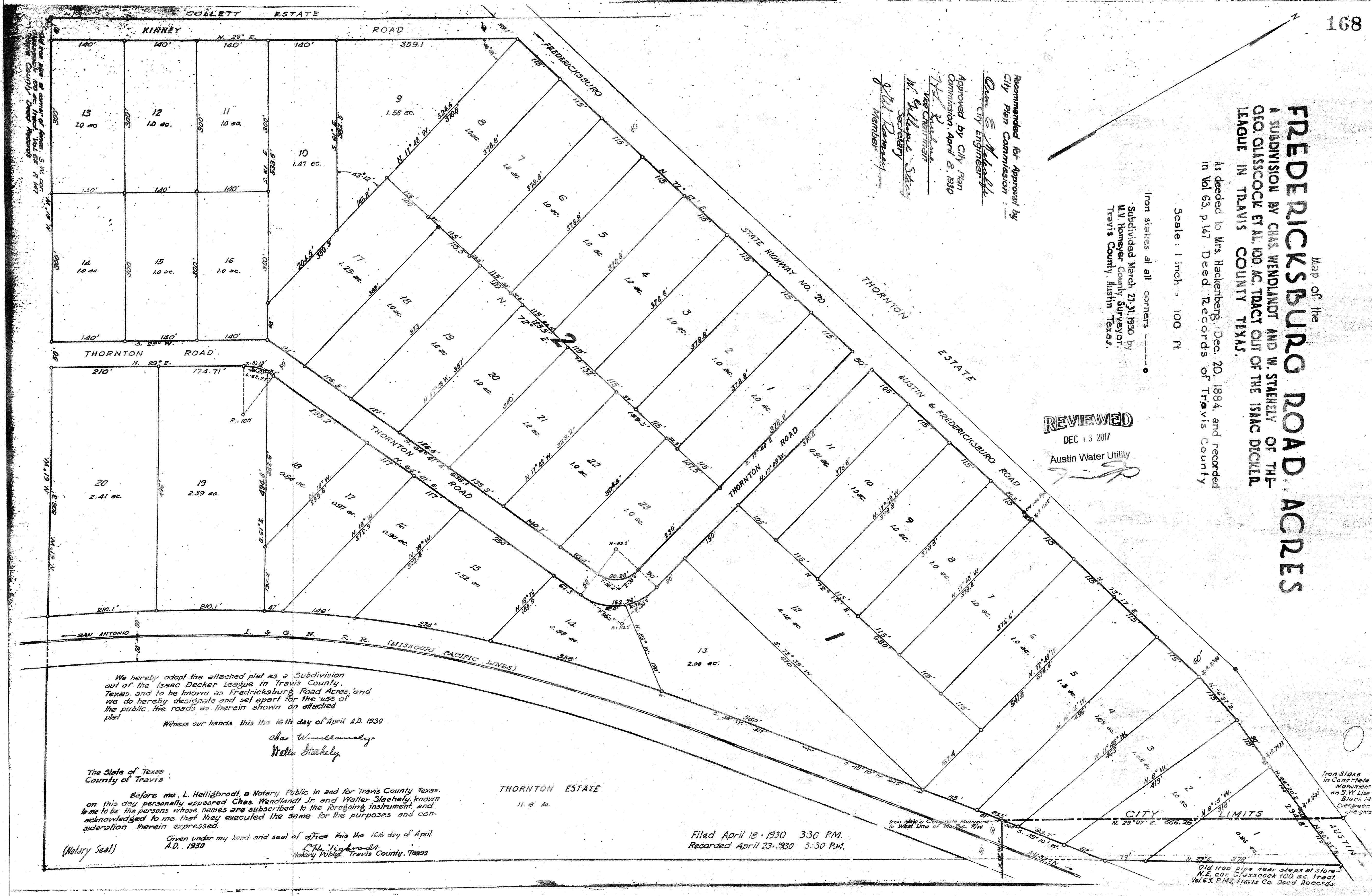




FREDERICKSBURG ROAD ACRES
A SUBDIVISION BY CHAS. WENDLANDT AND W. STAEHEL OF THE
GEO. GLASSCOCK ET AL. 100 AC. TRACT OUT OF THE ISAAC DECKER
LEAGUE IN TRAVIS COUNTY TEXAS.

As deeded to Mrs. Hackenberg, Dec. 20, 1884, and recorded
in Vol 63, p. 147 Deed Records of Travis County.

Scale: 1 inch = 100 ft.

Iron stakes at all corners
Subdivided March 27, 1930 by
M.V. Homeyer County Surveyor,
Travis County, Austin Texas.

REVIEWED
DEC 13 2017
Austin Water Utility

Recommended for approval by
City Plan Commission: ---
Date: 6/14/18
Approved by City Plan
Commission April 8, 1930
W. Staehele
City Engineer
W. Staehele
Secretary
J. M. Ramsey
Member

We hereby adopt the attached plat as a Subdivision
out of the Isaac Decker League in Travis County,
Texas, and to be known as Fredricksburg Road Acres, and
we do hereby designate and set apart for the use of
the public, the roads as therein shown on attached
plat

Witness our hands this 16th day of April A.D. 1930

Chas. Wendlandt
Walter Staehele

The State of Texas,
County of Travis

Before me, L. Heiligbrodt, a Notary Public in and for Travis County Texas,
on this day personally appeared Chas. Wendlandt Jr. and Walter Staehele known
to me to be the persons whose names are subscribed to the foregoing instrument, and
acknowledged to me that they executed the same for the purposes and con-
sideration therein expressed.

(Notary Seal)

Given under my hand and seal of office this 16th day of April
A.D. 1930
L. Heiligbrodt
Notary Public, Travis County, Texas

THORNTON ESTATE
11.6 Ac.

Filed April 18, 1930 3:30 P.M.
Recorded April 23, 1930 3:30 P.M.

FOR CITY USE ONLY:

SITE PLAN APPROVAL	SHEET 02 OF 31
FILE NUMBER SP-2016-0481C	APPLICATION DATE OCTOBER 14, 2016
APPROVED BY COMMISSION ON 2-22-18	UNDER SECTION 112 OF
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE	
EXPIRATION DATE (25-5-1.1) 2-22-21	CASE MANAGER MICHAEL SIMMONS-SMITH
PROJECT EXPIRATION DATE (ORD #976905-A)	DWZ DEZ X

Director, Development Services Department
RELEASED FOR GENERAL COMPLIANCE: 2-22-18 ZONING: CS-MU-CO, CS-Y-MU-CO

Rev.	Correction 1
Rev.	Correction 2
Rev.	Correction 3

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site
Plans which do not comply with the Code current at the time of filing, and all required
Building Permits and/or a notice of construction (if a building permit is not required), must
also be approved prior to the Project Expiration Date.

BOULDIN CREEK COMMONS
2043 S LAMAR BLVD
CITY OF AUSTIN, TRAVIS COUNTY, TEXAS

PLAT

December 11, 2017

CHECKED BY:
BRYANT R. BELL, P.E.
JOB NUMBER: 305-001
ISSUE DATE: 12/11/17

SHEET:
02 OF 31

SP-2016-0481C

SOUTH LAMAR PROPERTIES
900 BLUEBONNET LANE
AUSTIN, TX 78704
CONTACT: SCOTT TRAINER
PHONE: (512) 965-1369

kbge
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CONSULTING
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TBP# No. F-12802