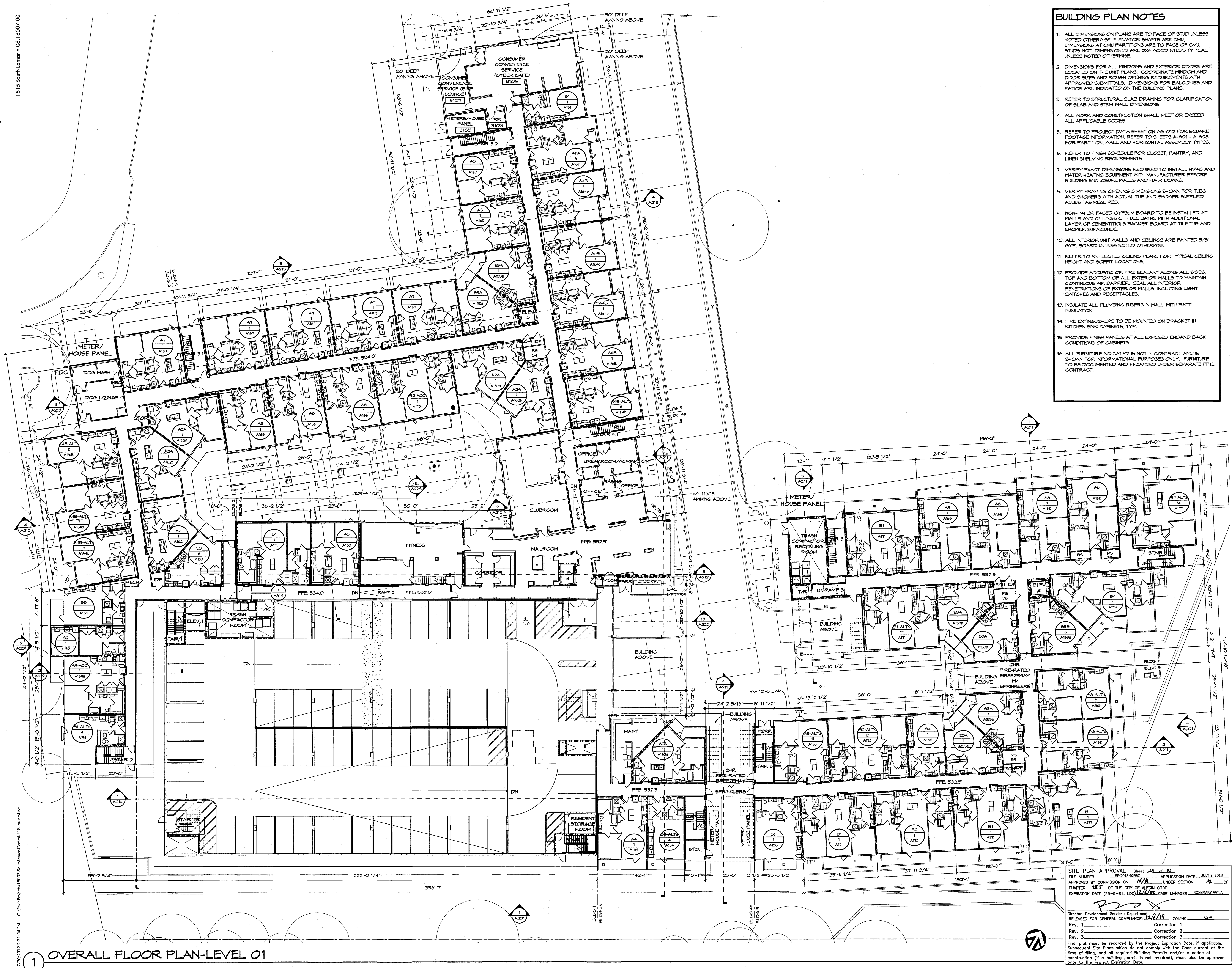
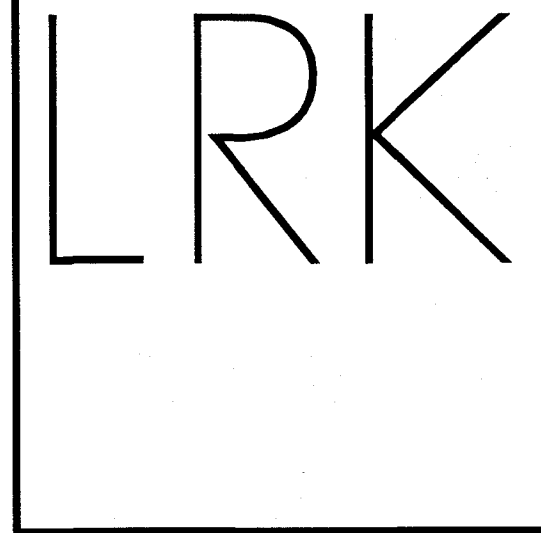




BUILDING PLAN NOTES

1. ALL DIMENSIONS ON PLANS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. ELEVATOR SHAFTS ARE CHU. DIMENSIONS AT CHU PARTITIONS ARE TO FACE OF CHU. STUDS NOT DIMENSIONED ARE 2X4 WOOD STUDS TYPICAL UNLESS NOTED OTHERWISE.
2. DIMENSIONS FOR ALL WINDOWS AND EXTERIOR DOORS ARE LOCATED ON THE UNIT PLANS. COORDINATE WINDOW AND DOOR SIZES AND ROUGH OPENING REQUIREMENTS WITH APPROVED SUBMITTALS. DIMENSIONS FOR BALCONIES AND PATIOS ARE INDICATED ON THE BUILDING PLANS.
3. REFER TO STRUCTURAL SLAB DRAWING FOR CLARIFICATION OF SLAB AND STEM WALL DIMENSIONS.
4. ALL WORK AND CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES.
5. REFER TO PROJECT DATA SHEET ON A6-012 FOR SQUARE FOOTAGE INFORMATION. REFER TO SHEETS A-601 - A-608 FOR PARTITION, WALL AND HORIZONTAL ASSEMBLY TYPES.
6. REFER TO FINISH SCHEDULE FOR CLOSET, PANTRY, AND LINEN SHELVING REQUIREMENTS.
7. VERIFY EXACT DIMENSIONS REQUIRED TO INSTALL HVAC AND WATER HEATING EQUIPMENT WITH MANUFACTURER BEFORE BUILDING ENCLOSURE WALLS AND FURR DOWNS.
8. VERIFY FRAMING OPENING DIMENSIONS SHOWN FOR TUBS AND SHOWERS WITH ACTUAL TUB AND SHOWER SUPPLIED. ADJUST AS REQUIRED.
9. NON-PAPER FACED GYPSUM BOARD TO BE INSTALLED AT WALLS AND CEILINGS OF FULL BATHS WITH ADDITIONAL LAYER OF CEMENTITIOUS BACKER BOARD AT TILE TUB AND SHOWER SURROUNDS.
10. ALL INTERIOR UNIT WALLS AND CEILINGS ARE PAINTED 5/8" GYP. BOARD UNLESS NOTED OTHERWISE.
11. REFER TO REFLECTED CEILING PLANS FOR TYPICAL CEILING HEIGHT AND SOFFIT LOCATIONS.
12. PROVIDE ACOUSTIC OR FIRE SEALANT ALONG ALL SIDES, TOP AND BOTTOM OF ALL EXTERIOR WALLS TO MAINTAIN CONTINUOUS AIR BARRIER. SEAL ALL INTERIOR PENETRATIONS OF EXTERIOR WALLS, INCLUDING LIGHT SWITCHES AND RECEPTACLES.
13. INSULATE ALL PLUMBING RISERS IN WALL WITH BATT INSULATION.
14. FIRE EXTINGUISHERS TO BE MOUNTED ON BRACKET IN KITCHEN SINK CABINETS, TYP.
15. PROVIDE FINISH PANELS AT ALL EXPOSED END AND BACK CONDITIONS OF CABINETS.
16. ALL FURNITURE INDICATED IS NOT IN CONTRACT AND IS SHOWN FOR INFORMATIONAL PURPOSES ONLY. FURNITURE TO BE DOCUMENTED AND PROVIDED UNDER SEPARATE FFIE CONTRACT.



Architecture Planning Interiors Research
150 Turtle Creek Blvd, Suite 104D
Dallas, Texas 75207
Telephone 214 389 3816
Fax 225 928 4906
E-mail info@lrk.com

Client:

Fairfield Residential

7301 North State Highway 161, Suite 260

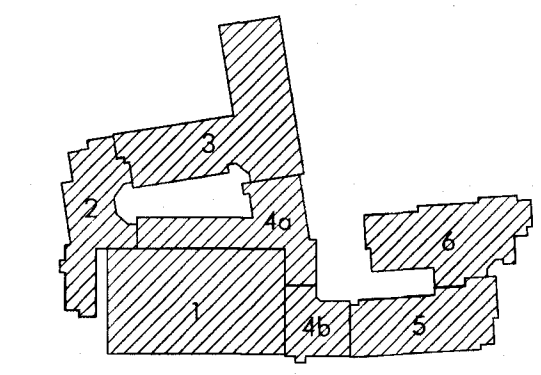
Iring, Texas 75039

Issues and Revisions

Date	Issued / Revised
05.04.18	Schematic Design Set
06.28.18	Completeness Check Set
08.17.18	Design Development Set
11.30.18	85% CD Set
04.12.19	95% CD Set
07.12.19	Revised Issue for Pricing
07.30.19	Site Plan Resubmission 3

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Seal



LRK Project Number: 06.18007.00

Project Name:

1515 South Lamar

1515 South Lamar Blvd.
Austin, Texas 78704

Drawing Name:

OVERALL FLOOR PLAN -
LEVEL 01

58 OF 87

Drawn By: QI

Checked By: KO

A101

SP-2018-0296C

SITE PLAN APPROVAL Sheet 58 of 87
FILE NUMBER SP-2018-0296C APPLICATION DATE JULY 2, 2018
APPROVED BY COMMISSION ON JULY 2, 2018 UNDER SECTION 17.04 OF
CHAPTER 17.04 OF THE CITY OF AUSTIN CODE
EXPIRATION DATE (25-5-81, LDC) 12/4/22 CASE MANAGER ROSEMARY AYALA
Director, Development Services Department
RELEASED FOR GENERAL COMPLIANCE: 12/6/19 ZONING CS-V
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3
Final plot must be recorded by the Project Expiration Date, if applicable.
Subsequent Site Plans which do not comply with the Code current at the
time of filing, and all required Building Permits and/or a notice of
construction (if a building permit is not required), must also be approved
prior to the Project Expiration Date.