

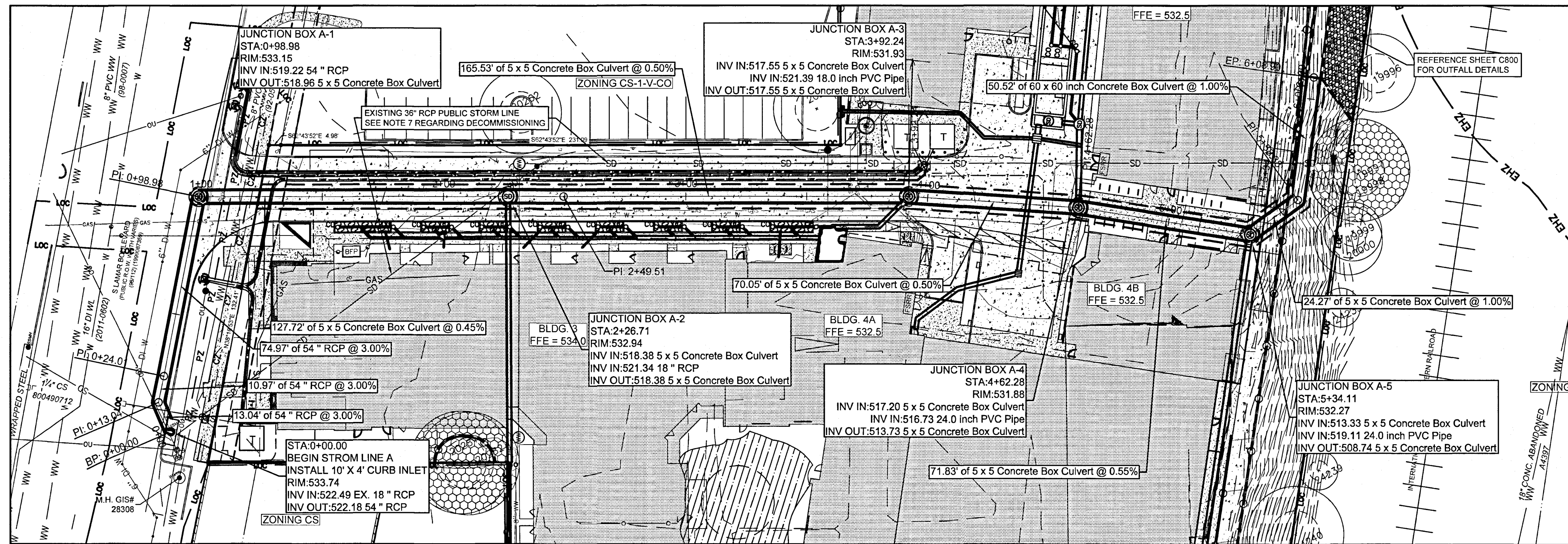
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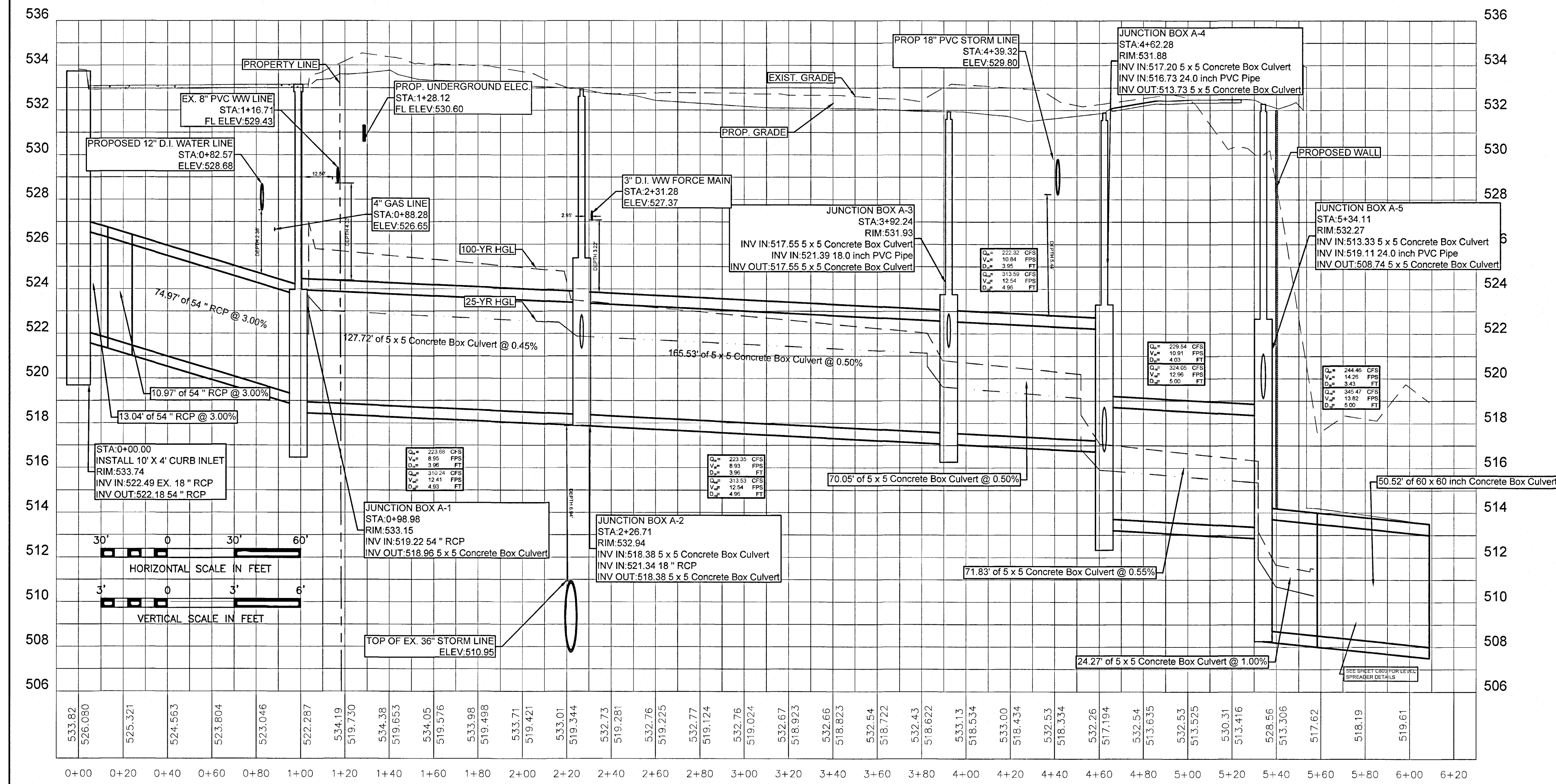
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0 15' 30' 60'

LEGEND

- BOUNDARY / RIGHT OF WAY
- EASEMENT / SETBACK
- CURB / EDGE OF PAVEMENT
- OU OVERHEAD UTILITY LINE
- RETAINING / SCREEN WALL
- EXIST. GRADE ELEVATIONS
- XXXX PROP. GRADE ELEVATIONS
- EXIST. STORM DRAIN LINE
- PROP. STORM DRAIN LINE
- W WATER LINE
- WW WASTEWATER LINE
- DRAINAGE SWALE FLOW LINE
- DIRECTION OF FLOW
- TREE W/ TAG (TO REMAIN)
- XXX.00 PROPOSED FINISHED GRADE
- XXX.00 PROPOSED FINISHED GRADE
- TC TOP OF CURB ELEVATION
- G GUTTER ELEVATION
- FL FLOW LINE ELEVATION
- HP HIGH POINT ELEVATION
- LP LOW POINT ELEVATION
- ME MATCH EXISTING ELEVATION
- PE PAD ELEVATION
- FF FINISHED FLOOR ELEVATION
- TW TOP OF WALL ELEVATION
- GW FINISHED GRADE AT WALL
- 2% 2% MAXIMUM CROSS SLOPE FOR ACCESSIBLE ROUTE IN THIS AREA



HORIZONTAL SCALE IN FEET

VERTICAL SCALE IN FEET

NOTES:

- REFERENCE LANDSCAPE PLANS FOR SODDING & SEEDING NOTES.
- ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
- ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.
- CONTRACTOR SHALL EXPOSE ALL EXISTING UTILITIES CROSSINGS PROPOSED GRAVITY LINES AND INSURE THERE WILL BE NO CONFLICTS PRIOR TO BEGINNING CONSTRUCTION. ADDITIONALLY, CONTRACTOR TO PLAN UTILITY LINE INSTALLATIONS IN A MANNER TO AVOID CONFLICTS WITH PROPOSED GRAVITY LINES.
- CONTRACTOR SHALL FORM SIDEWALKS AND VERIFY SLOPES PRIOR TO POURING CONCRETE. CONTRACTOR SHALL ENSURE THAT CROSS SLOPES ARE NO GREATER THAN 2% ALONG THE ACCESSIBLE ROUTE AND RUNNING SLOPE IS NO GREATER THAN 5%, UNLESS THE RUNNING SLOPE MATCHES THE EXISTING STREET SLOPE. IF ANY DISCREPANCY ARISES, CONTRACTOR SHALL CONTACT ENGINEER FOR SOLUTION.
- LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN(S).
- EXISTING 36" PUBLIC STORM LINE TO REMAIN IN SERVICE DURING CONSTRUCTION UNTIL PROPOSED PUBLIC 5' x 5' BOX CULVERT IS IN SERVICE. DEPTH OF EXISTING 36" STORM LINE WILL ALLOW PROPOSED 5' x 5' BOX CULVERT TO BE INSTALLED WITHOUT DISTURBING THE EXISTING 36" STORM LINE (REFERENCE PROFILE THIS SHEET). EXISTING 36" STORM LINE TO BE ABANDONED IN PLACE ONCE 5' x 5' BOX CULVERT IS APPROVED BY INSPECTOR AND PLACED IN SERVICE.

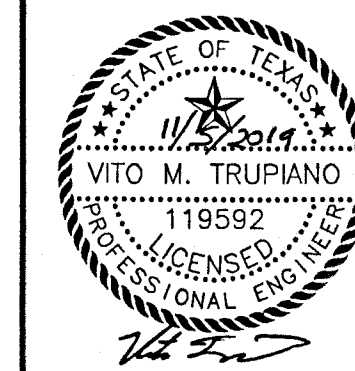
SITE PLAN APPROVAL Sheet 28 of 87
 FILE NUMBER SP-2018-0296C APPLICATION DATE JULY 2, 2018
 APPROVED BY COMMISSION ON N/A UNDER SECTION 112 OF
 CHAPTER 255 OF THE CITY OF AUSTIN CODE
 EXPIRATION DATE (25-5-81, LDC) 11/14/21 CASE MANAGER ROSEMARY AVILA

Director, Development Services Department
 RELEASED FOR GENERAL COMPLIANCE: 11/14/19 ZONING CS-V
 Rev. 1 Correction 1
 Rev. 2 Correction 2
 Rev. 3 Correction 3
 Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

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TEXAS REG. NO. F-15095

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AUSTIN SOUTH LAMAR APARTMENTS
 1515 SOUTH LAMAR
 AUSTIN, TRAVIS COUNTY, TEXAS

STORM PLAN AND PROFILE (PUBLIC)

SHEET

CG206

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