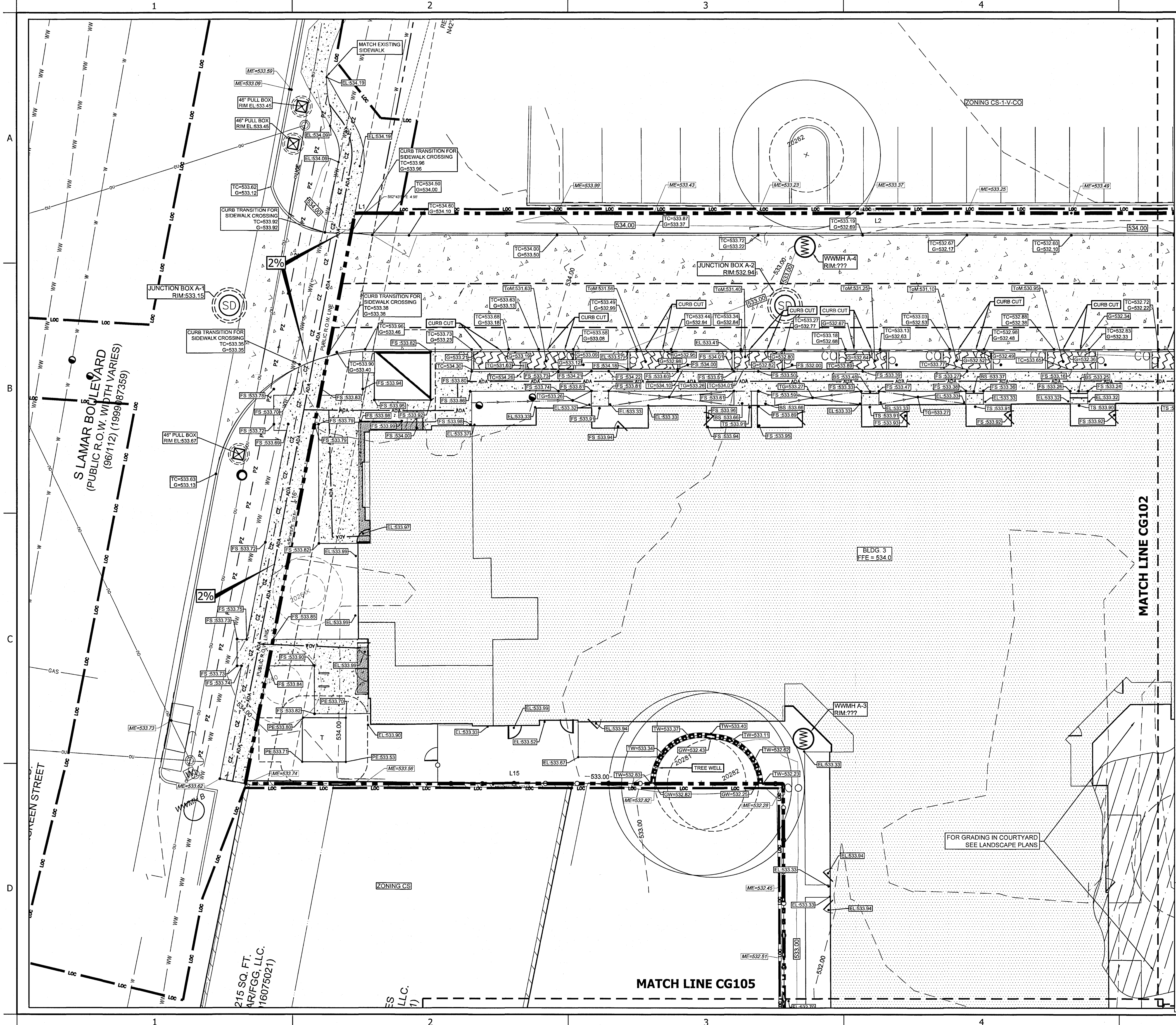




0 5' 10' 20'

LEGEND

BOUNDARY / RIGHT OF WAY

EASEMENT / SETBACK

PZ PLANTING ZONE

CZ CLEAR ZONE

CURB / EDGE OF PAVEMENT

OVERHEAD UTILITY LINE

RETAINING / SCREEN WALL

EXIST. GRADE ELEVATIONS

PROP. GRADE ELEVATIONS

EXIST. STORM DRAIN LINE

PROP. STORM DRAIN LINE

W WATER LINE

WW WASTEWATER LINE

DRAINAGE SWALE FLOW LINE

DIRECTION OF FLOW

Tree W/ TAG (TO REMAIN)

PROPOSED FINISHED GRADE

BS BOTTOM OF STEP ELEVATION

EL ELEVATION

FF FINISHED FLOOR ELEVATION

FL FLOW LINE ELEVATION

FS FINISHED SURFACE

G GUTTER ELEVATION

GW FINISHED ELEVATION AT WALL

HP HIGH POINT ELEVATION

LP LOW POINT ELEVATION

ME MATCH EXISTING ELEVATION

PE PAD ELEVATION

TC TOP OF CURB ELEVATION

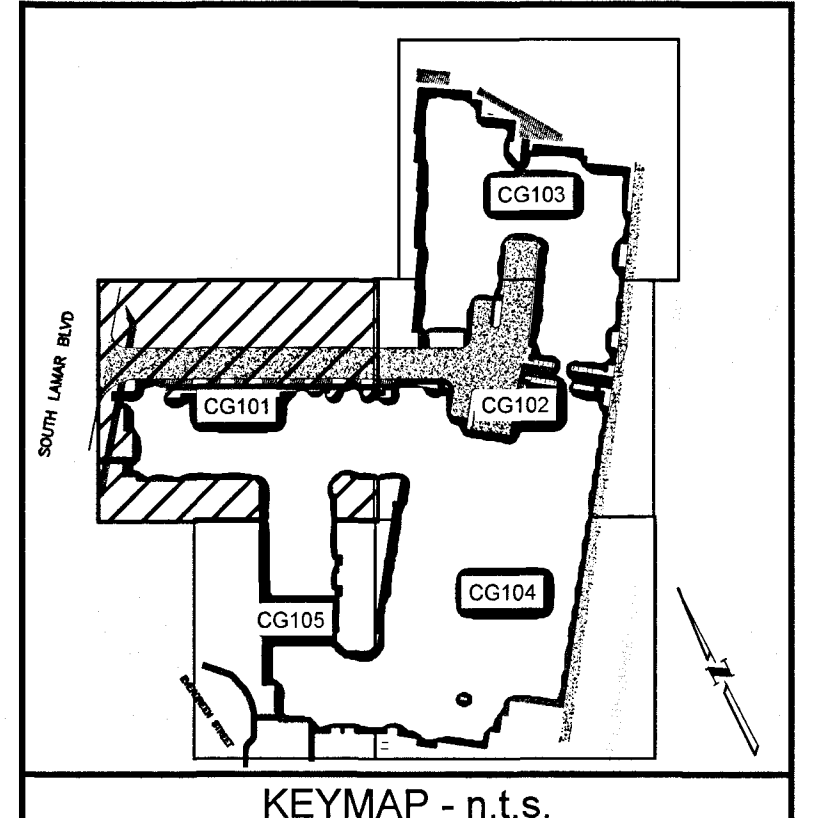
ToM TOP OF MEDIA

TS TOP OF STEP ELEVATION

TW TOP OF WALL

2% 2% MAXIMUM CROSS SLOPE FOR ACCESSIBLE ROUTE IN THIS AREA

- NOTES:
- REFERENCE LANDSCAPE PLANS FOR SODDING & SEEDING NOTES.
 - ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
 - ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.
 - CONTRACTOR SHALL EXPOSE ALL EXISTING UTILITIES CROSSINGS PROPOSED GRAVITY LINES AND INSURE THERE WILL BE NO CONFLICTS PRIOR TO BEGINNING CONSTRUCTION. ADDITIONALLY, CONTRACTOR TO PLAN UTILITY LINE INSTALLATIONS IN A MANNER TO AVOID CONFLICTS WITH PROPOSED GRAVITY LINES.
 - CONTRACTOR SHALL FORM SIDEWALKS AND VERIFY SLOPES PRIOR TO POURING CONCRETE. CONTRACTOR SHALL ENSURE THAT GROSS SLOPES ARE NO GREATER THAN 2% ALONG THE ACCESSIBLE ROUTE AND RUNNING SLOPE IS NO GREATER THAN 5%, UNLESS THE RUNNING SLOPE MATCHES THE EXISTING STREET SLOPE. IF ANY DISCREPANCY ARISES, CONTRACTOR SHALL CONTACT ENGINEER FOR SOLUTION.
 - LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN(S).



SITE PLAN APPROVAL

Sheet 17 of 87

FILE NUMBER SP-2018-0296C

APPLICATION DATE JULY 2, 2018

APPROVED BY COMMISSION ON N/A UNDER SECTION 112 OF CHAPTER 255 OF THE CITY OF AUSTIN CODE

EXPIRATION DATE (25-5-81, LDC) 11/6/22 CASE MANAGER ROSEMARY AVILA

Director, Development Services Department

RELEASED FOR GENERAL COMPLIANCE: 12/4/19 ZONING CS-V

Rev. 1 Correction 1

Rev. 2 Correction 2

Rev. 3 Correction 3

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

WWW.BIGREDDOG.COM
TEXAS REG. NO. F-15085

512.669.5560

STATE OF TEXAS

VITO M. TRUPIANO

119592

PROFESSIONAL ENGINEER

12/4/19

CS-V

AUSTIN SOUTH LAMAR APARTMENTS

1515 SOUTH LAMAR

AUSTIN, TRAVIS COUNTY, TEXAS

DETAIL GRADING PLAN 1 OF 5

SHEET

CG101

17 OF 87

SP-2018-0296C