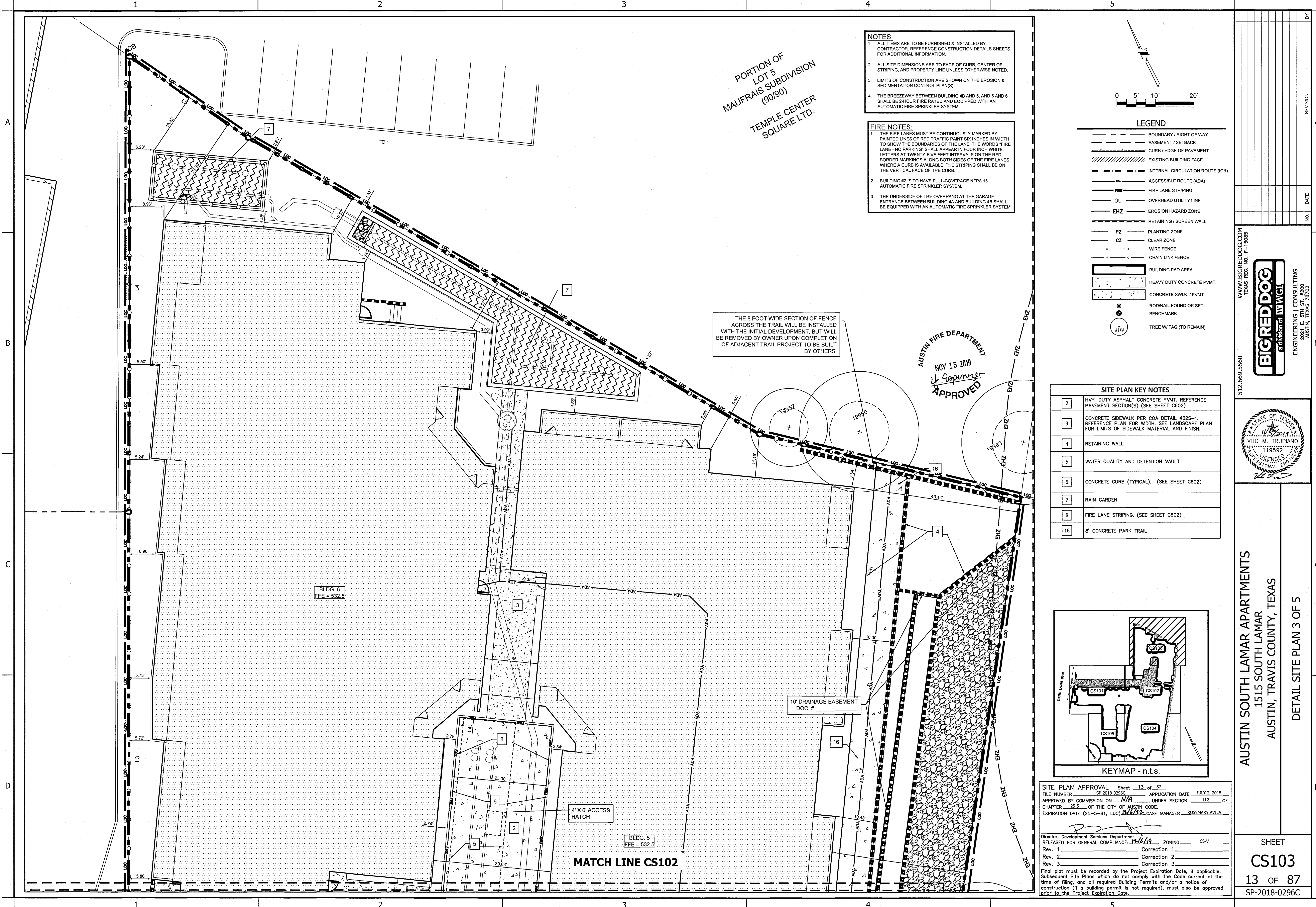
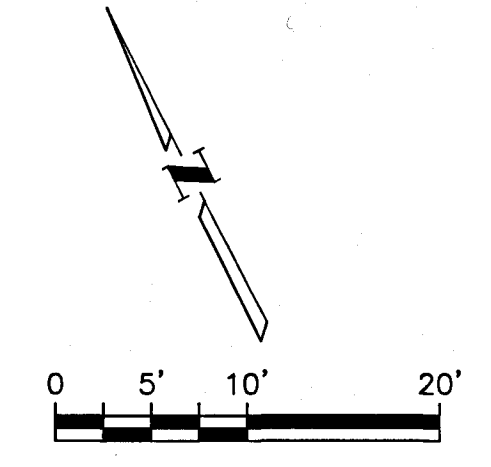




PORTION OF
LOT 5
MAUFRAIS SUBDIVISION
(90/90)
TEMPLE CENTER
SQUARE LTD.

- NOTES:**
1. ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
 2. ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
 3. LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN(S).
 4. THE BREEZEWAY BETWEEN BUILDING 4B AND 5, AND 5 AND 6 SHALL BE 2-HOUR FIRE RATED AND EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.

- FIRE NOTES:**
1. THE FIRE LANES MUST BE CONTINUOUSLY MARKED BY PAINTED LINES OF RED TRAFFIC PAINT SIX INCHES IN WIDTH TO SHOW THE BOUNDARIES OF THE LANE. THE WORDS "FIRE LANE - NO PARKING" SHALL APPEAR IN FOUR INCH WHITE LETTERS AT TWENTY-FIVE FEET INTERVALS ON THE RED BORDER MARKINGS ALONG BOTH SIDES OF THE FIRE LANES. WHERE A CURB IS AVAILABLE, THE STRIPING SHALL BE ON THE VERTICAL FACE OF THE CURB.
 2. BUILDING #2 IS TO HAVE FULL-COVERAGE NFPA 13 AUTOMATIC FIRE SPRINKLER SYSTEM.
 3. THE UNDERSIDE OF THE OVERHANG AT THE GARAGE ENTRANCE BETWEEN BUILDING 4A AND BUILDING 4B SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.

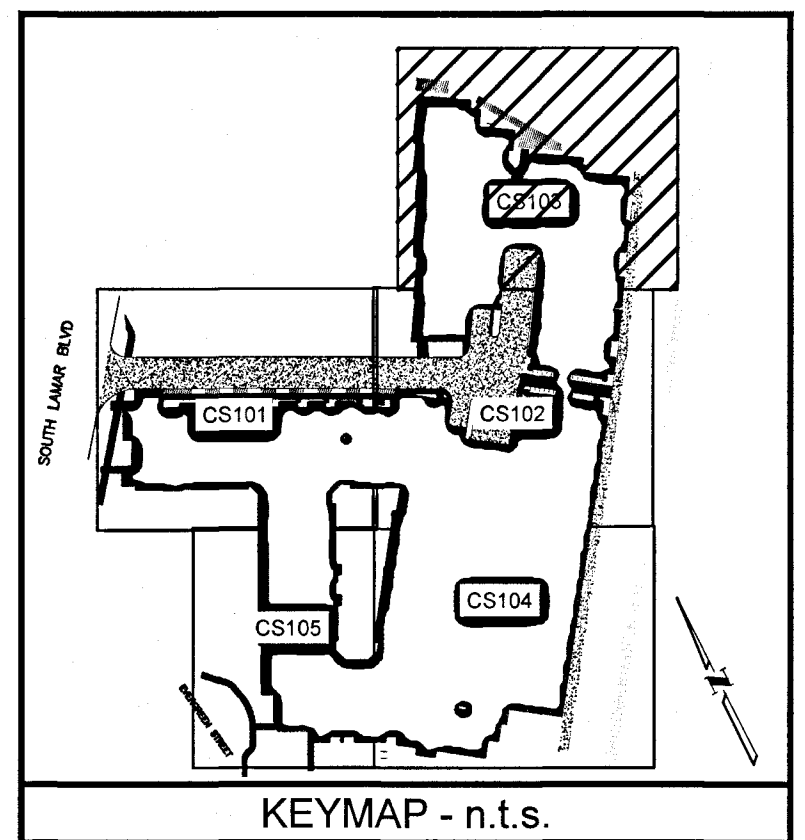


- LEGEND**
- BOUNDARY / RIGHT OF WAY
 - EASEMENT / SETBACK
 - CURB / EDGE OF PAVEMENT
 - EXISTING BUILDING FACE
 - INTERNAL CIRCULATION ROUTE (ICR)
 - ACCESSIBLE ROUTE (ADA)
 - FIRE LANE STRIPING
 - OVERHEAD UTILITY LINE
 - EROSION HAZARD ZONE
 - RETAINING / SCREEN WALL
 - PLANTING ZONE
 - CLEAR ZONE
 - WIRE FENCE
 - CHAIN LINK FENCE
 - BUILDING PAD AREA
 - HEAVY DUTY CONCRETE PAVT.
 - CONCRETE SWLK. / PAVT.
 - ROD/NAIL FOUND OR SET BENCHMARK
 - TREE W/ TAG (TO REMAIN)

THE 8 FOOT WIDE SECTION OF FENCE ACROSS THE TRAIL WILL BE INSTALLED WITH THE INITIAL DEVELOPMENT, BUT WILL BE REMOVED BY OWNER UPON COMPLETION OF ADJACENT TRAIL PROJECT TO BE BUILT BY OTHERS.

AUSTIN FIRE DEPARTMENT
NOV 15 2019
J. G. GONZALEZ
APPROVED

SITE PLAN KEY NOTES	
2	HVY. DUTY ASPHALT CONCRETE PAVT. REFERENCE PAVEMENT SECTION(S) (SEE SHEET C602)
3	CONCRETE SIDEWALK PER COA DETAIL 432S-1. REFERENCE PLAN FOR WIDTH. SEE LANDSCAPE PLAN FOR LIMITS OF SIDEWALK MATERIAL AND FINISH.
4	RETAINING WALL
5	WATER QUALITY AND DETENTION VAULT
6	CONCRETE CURB (TYPICAL). (SEE SHEET C602)
7	RAIN GARDEN
8	FIRE LANE STRIPING. (SEE SHEET C602)
16	8' CONCRETE PARK TRAIL



SITE PLAN APPROVAL Sheet 13 of 87
FILE NUMBER SP-2018-0296C APPLICATION DATE JULY 2, 2018
APPROVED BY COMMISSION ON N/A UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81, LDC) 12/6/22 CASE MANAGER ROSEMARY AVILA

Director, Development Services Department
RELEASED FOR GENERAL COMPLIANCE: 12/6/19 ZONING CS-V

Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

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a division of MWGL

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STATE OF TEXAS
VITO M. TRUPIANO
119592
LICENSED PROFESSIONAL ENGINEER

AUSTIN SOUTH LAMAR APARTMENTS
1515 SOUTH LAMAR
AUSTIN, TRAVIS COUNTY, TEXAS

DETAIL SITE PLAN 3 OF 5

SHEET
CS103
13 OF 87
SP-2018-0296C