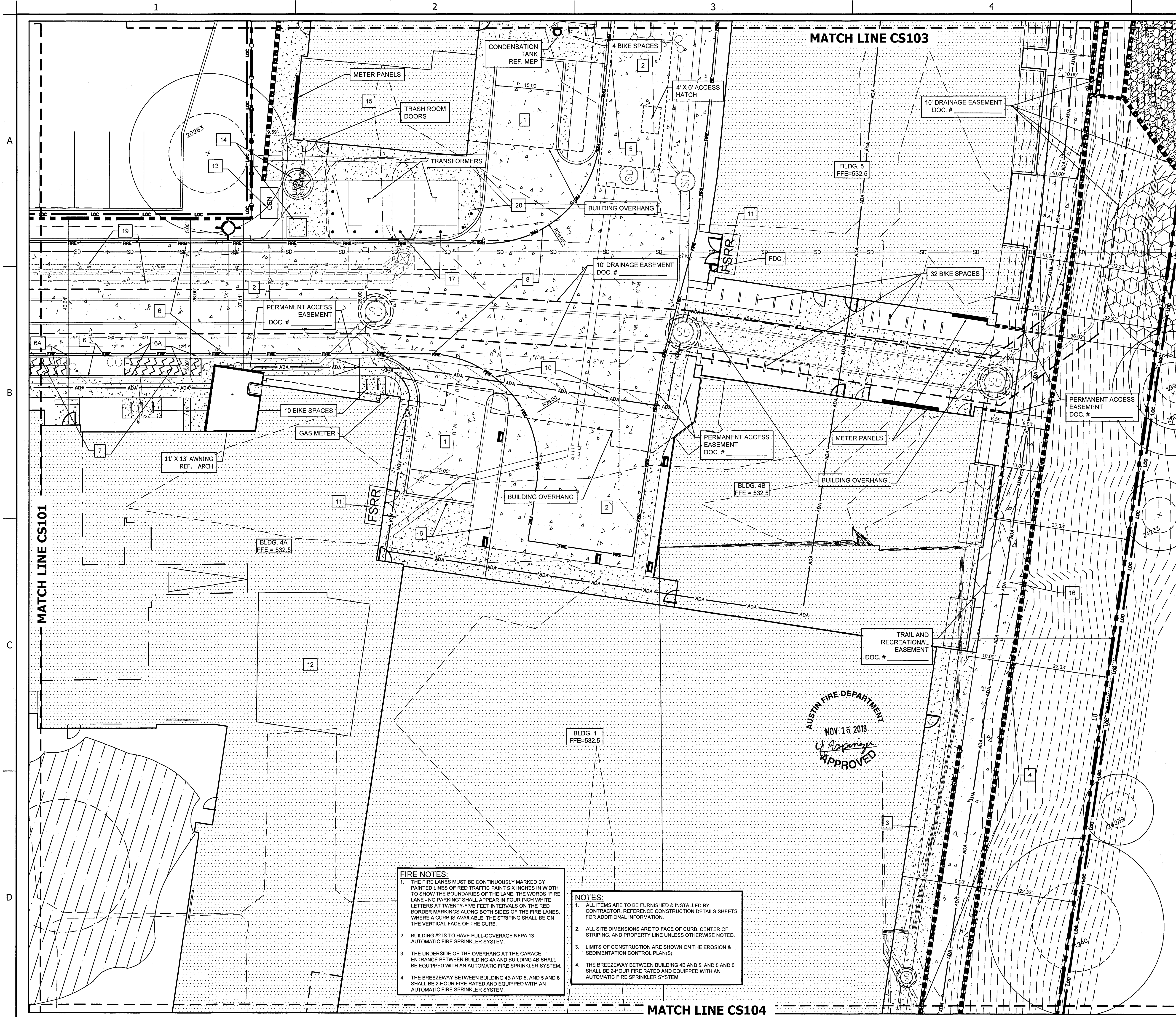


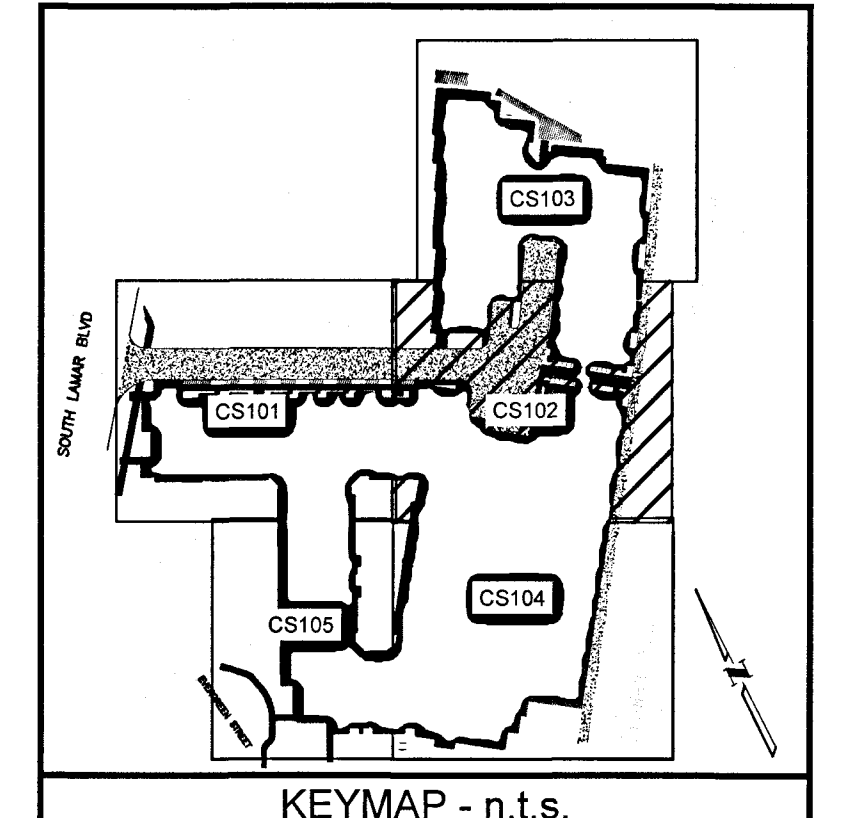


0 5' 10' 20'

LEGEND

- BOUNDARY / RIGHT OF WAY
- EASEMENT / SETBACK
- CURB / EDGE OF PAVEMENT
- EXISTING BUILDING FACE
- INTERNAL CIRCULATION ROUTE (ICR)
- ACCESSIBLE ROUTE (ADA)
- FIRE LANE STRIPING
- OU OVERHEAD UTILITY LINE
- EHZ EROSION HAZARD ZONE
- RETAINING / SCREEN WALL
- PZ PLANTING ZONE
- CZ CLEAR ZONE
- WIRE FENCE
- CHAIN LINK FENCE
- BUILDING PAD AREA
- HEAVY DUTY CONCRETE P.V.M.T.
- CONCRETE SWLK. / P.V.M.T.
- ROD/NAIL FOUND OR SET BENCHMARK
- TREE W/ TAG (TO REMAIN)

SITE PLAN KEY NOTES	
1	LOADING ZONE
2	HVY. DUTY ASPHALT CONCRETE. P.V.M.T. REFERENCE PAVEMENT SECTION(S) (SEE SHEET C602)
3	CONCRETE SIDEWALK PER COA DETAIL 432S-1. REFERENCE PLAN FOR WIDTH. SEE LANDSCAPE PLAN FOR LIMITS OF SIDEWALK MATERIAL AND FINISH.
4	RETAINING WALL
5	WATER QUALITY AND DETENTION VAULT
6	CONCRETE CURB (TYPICAL). (SEE SHEET C602)
6A	"SAWTOOTH" CONCRETE CURB AT ENTRANCE DRIVE RAIN GARDEN (TYPICAL). (SEE SHEET C603)
7	RAIN GARDEN
8	FIRE LANE STRIPING. (SEE SHEET C602)
10	CROSSWALK PAVEMENT MARKINGS
11	FIRE RISER ROOM
12	MAIL ROOM
13	BACKUP GAS GENERATOR
14	PROPOSED LIFT STATION
15	TRASH/COMPATOR ROOM
16	8" CONCRETE PARK TRAIL
17	8" BOLLARDS
19	TELE. COM DUCT BANK
20	RAIN WATER CISTERNS



SITE PLAN APPROVAL Sheet 12 of 87
FILE NUMBER SP-2018-0296C APPLICATION DATE JULY 2, 2018
APPROVED BY COMMISSION ON N/A UNDER SECTION 112 OF CHAPTER 25.5 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81, LDC) 12/6/21 CASE MANAGER ROSEMARY AVILA

Director, Development Services Department
RELEASED FOR GENERAL COMPLIANCE: 12/14/19 ZONING CS-V

Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

FIRE NOTES:

- THE FIRE LANES MUST BE CONTINUOUSLY MARKED BY PAINTED LINES OF RED TRAFFIC PAINT SIX INCHES IN WIDTH TO SHOW THE BOUNDARIES OF THE LANE. THE WORDS "FIRE LANE - NO PARKING" SHALL APPEAR IN FOUR INCH WHITE LETTERS AT TWENTY-FIVE FEET INTERVALS ON THE RED BORDER MARKINGS ALONG BOTH SIDES OF THE FIRE LANES. WHERE A CURB IS AVAILABLE, THE STRIPING SHALL BE ON THE VERTICAL FACE OF THE CURB.
- BUILDING #2 IS TO HAVE FULL-COVERAGE NFPA 13 AUTOMATIC FIRE SPRINKLER SYSTEM.
- THE UNDERSIDE OF THE OVERHANG AT THE GARAGE ENTRANCE BETWEEN BUILDING 4A AND BUILDING 4B SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.
- THE BREEZEWAY BETWEEN BUILDING 4B AND 5, AND 5 AND 6 SHALL BE 2-HOUR FIRE RATED AND EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.

NOTES:

- ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
- ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
- LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN(S).
- THE BREEZEWAY BETWEEN BUILDING 4B AND 5, AND 5 AND 6 SHALL BE 2-HOUR FIRE RATED AND EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.

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LICENSED PROFESSIONAL ENGINEER

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1515 SOUTH LAMAR
AUSTIN, TRAVIS COUNTY, TEXAS

DETAIL SITE PLAN 2 OF 5

SHEET
CS102
12 OF 87
SP-2018-0296C