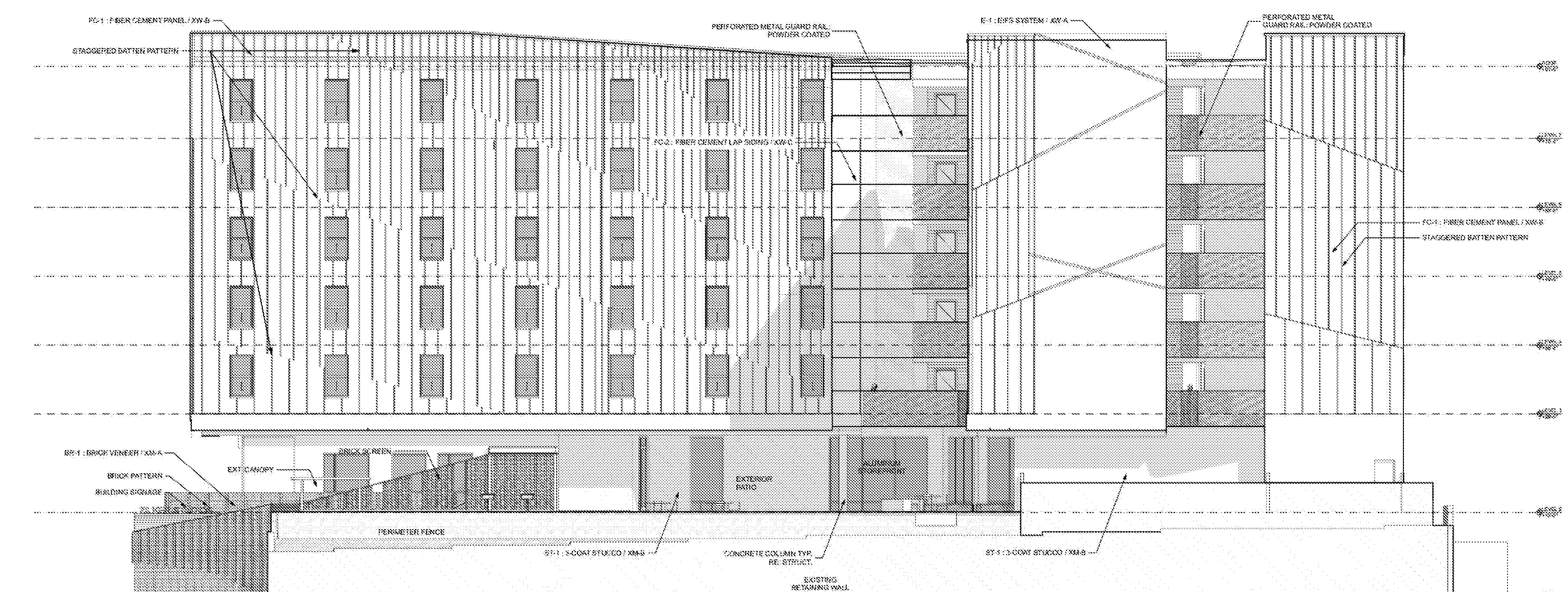
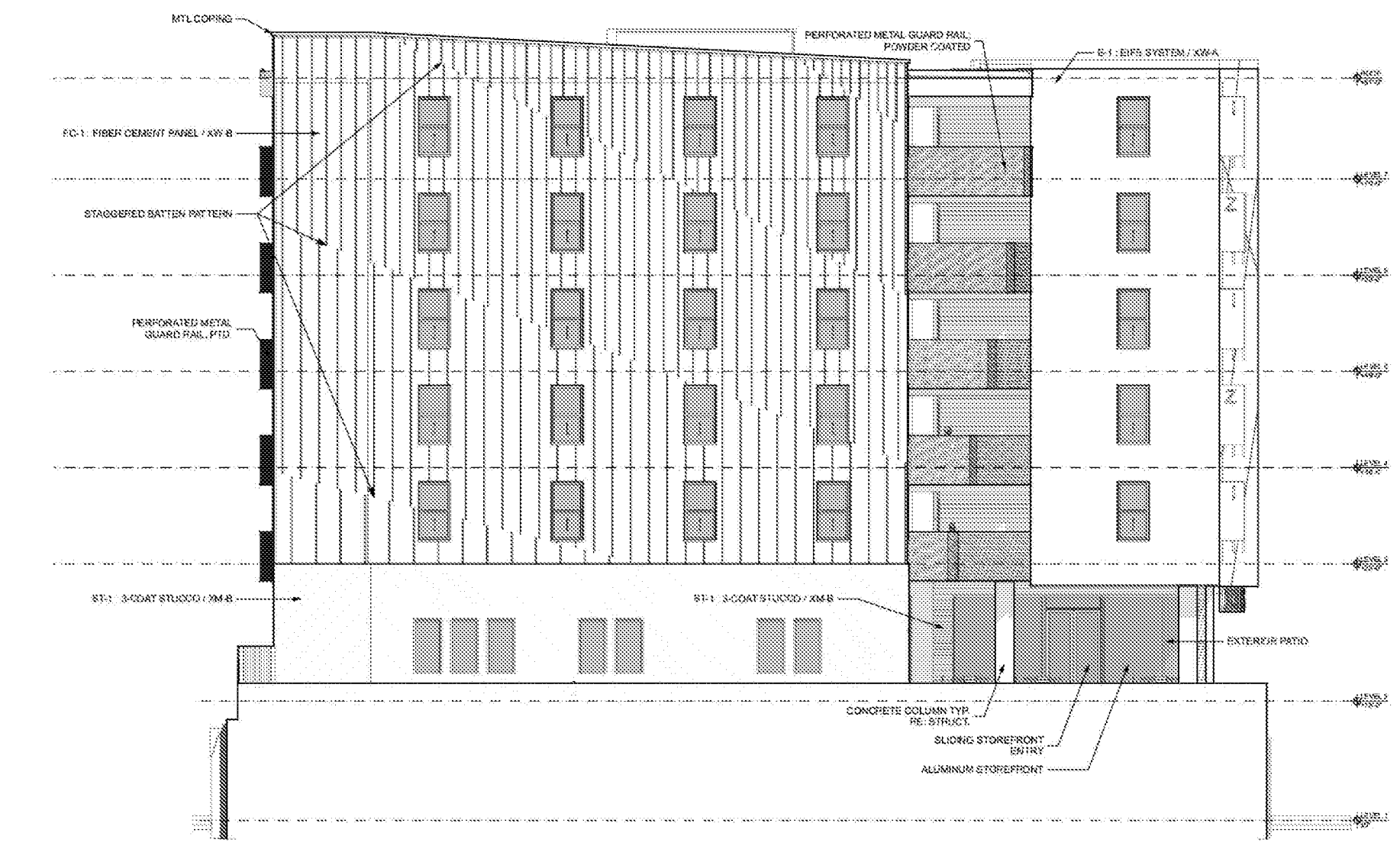


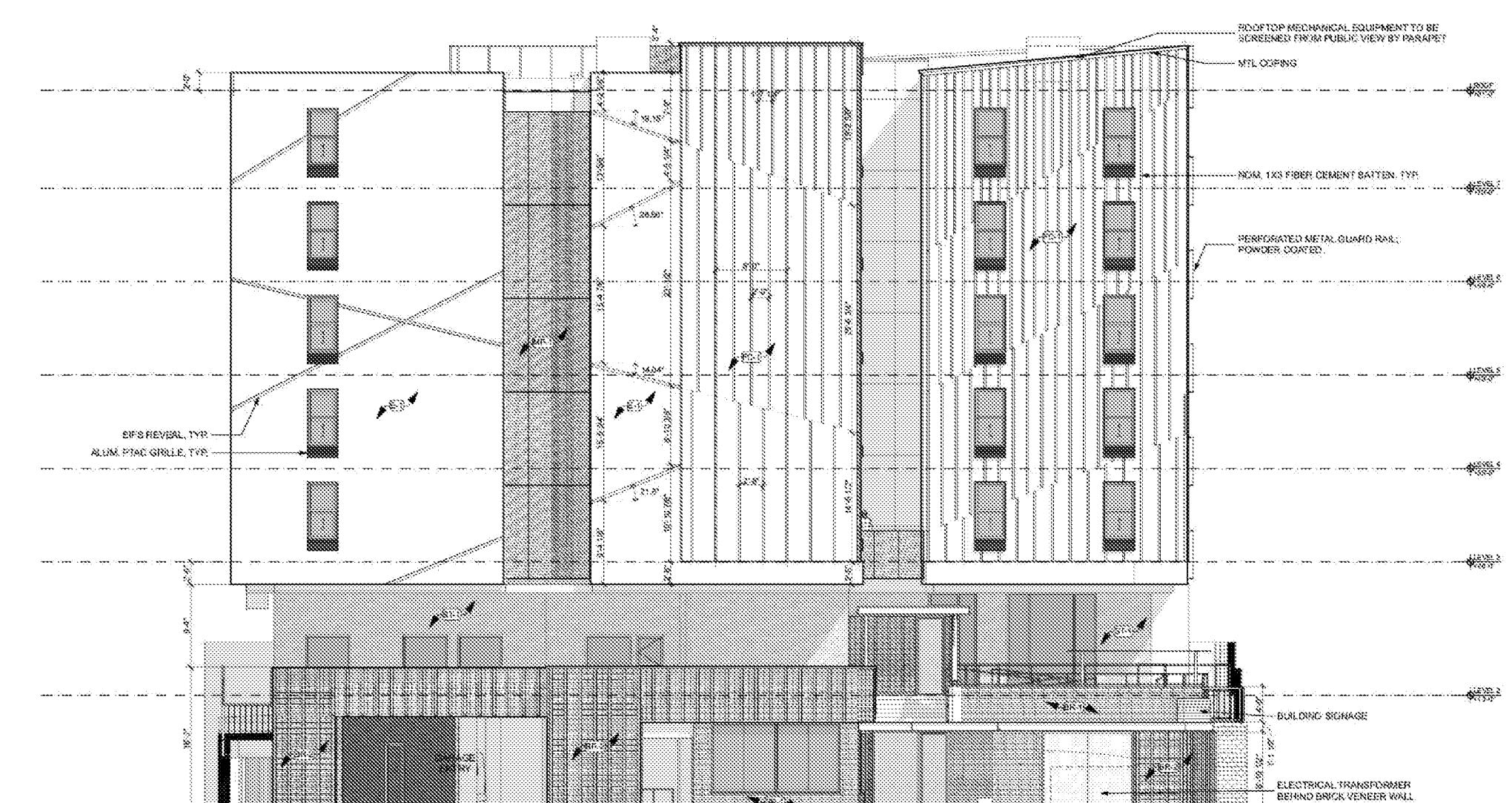
**4 SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**3 WEST ELEVATION**  
SCALE: 1/16" = 1'-0"



**1 EAST ELEVATION**  
SCALE: 1/16" = 1'-0"

**ALL SUBCHAPTER E 3.2.2 GLAZING CALCULATIONS**

**EAST (LAMAR) FACADE:**

0' - 10' AFF: OVERALL AREA: 292 SF ; GLAZED AREA: 66 SF ; GLAZING = 22.6%  
10' - 30' AFF: OVERALL AREA: 1,382 SF; GLAZED AREA: 258 SF; GLAZING = 18.6%

**NORTH FACADE:**  
EXEMPT

**SOUTH FACADE:**  
EXEMPT

**WEST FACADE:**  
EXEMPT

**ALL GLAZING TO MEET THE FOLLOWING MAXIMUM VALUES: U-VALUE: .3  
SHGC: .20**

**SUBCHAPTER E: EXCERPT**

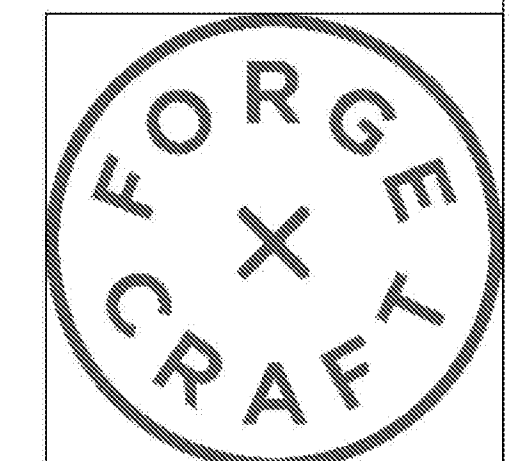
**ALL GLAZING SHALL COMPLY WITH SUBCHAPTER E 3.2.2. DESIGN STANDARDS AND MIXED USE FOR AUSTIN, TEXAS**

3.2.2. Glazing on Building Facades. Glazing provides interest for pedestrians, connects the building exterior and interior, puts eyes on the street, promotes reusability, and provides a human-scale element on building facades. Projects subject to this section shall meet the following minimum glazing requirements, but may provide additional glazing beyond what is required under this section:

- A. On the facade facing the roadway or Internal Circulation Route where building frontage is provided under the requirements of this Subchapter:
  - 1. 40 percent of the wall area below ten feet as measured from the finish floor level of this facade's entry shall consist of glazing unless topography, distance or other physical characteristics remove the facade from a close connection to the roadway or Internal Circulation Route (See Figure 39.); and
  - 2. 25 percent of the wall area between ten feet and thirty feet as measured from the finish floor level of this facade's entry shall consist of glazing. (See Figure 39.)
- B. One facade shall be exempt from glazing and facade relief requirements. The exempt facade cannot face a public street or Internal Circulation Route.
- C. On all other facades, at least 25 percent of the wall area between two and ten feet as measured from the finish floor level of this facade's entry must consist of glazing or facade relief. Unless vegetative screening, which must be evergreen is allowed if approved by the Director, and may not be used as glazing option on front-facing facade.
- D. Any facade that is built up to an interior mid-block property line is not required to have glazing on that facade if no prohibitions and no contractual or legal impediments exist that would prevent a building being constructed on the adjacent property up to the wall of the facade.
- E. At least one-half of the total area of all glazing on ground-floor facades that face the principal street shall have a Visible Transmittance (VT) of 0.6 or higher.
- F. The requirements in this section may be reduced to the extent that the required level or location of glazing conflicts with the standards of the Adopted Energy Code, Building Code, LEED, or the Green Building Program.



Asakura Robinson  
1224 E 12th Street, St. 310 -  
Austin, TX 78702  
512.351.6901 Main  
www.asakurarobinson.com



FORGE CRAFT  
ARCHITECTURE +  
DESIGN  
608 West Monroe St., St. C  
Austin, TX 78704  
T: 512.872.6655  
www.forgecraftarchitecture.com



Foundation  
Communities  
1508 S LAMAR  
BLVD.  
Austin, Texas 78704

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

ZILKER STUDIOS  
1508 SOUTH LAMAR BOULEVARD, AUSTIN, TX 78704  
  
ARCHITECTURAL BUILDING ELEVATIONS



5110 LANCASTER COURT  
PHONE 512 761 6151  
AUSTIN, TX 78723  
FAX 512 761 6167  
FIRM REG # F12469  
INFO@CIVILITUDE.COM

SCALE: \_\_\_\_\_  
JOB NO: \_\_\_\_\_  
DGN BY: \_\_\_\_\_  
DWN BY: \_\_\_\_\_  
RVW BY: \_\_\_\_\_

SITE PLAN APPROVAL SHEET 23 OF 23  
FILE NUMBER: **SP-2020-0246C-SH** APPLICATION DATE: **JUNE 12, 2020**  
APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER SECTION **112** ON \_\_\_\_\_  
CHAPTER **25.5** OF THE CITY OF AUSTIN CODE  
EXPIRATION DATE (25-S-81, LDC) \_\_\_\_\_ CASE MANAGER **CLARISSA DAVIS**  
PROJECT EXPIRATION DATE (ORD #070005-A) \_\_\_\_\_ DWPZ \_\_\_\_\_ DDZ \_\_\_\_\_

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: **CS-V, GR-V**  
Rev 1 \_\_\_\_\_ Comment 1 \_\_\_\_\_  
Rev 2 \_\_\_\_\_ Comment 2 \_\_\_\_\_  
Rev 3 \_\_\_\_\_ Comment 3 \_\_\_\_\_

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a building permit to not required, must also be approved prior to the Project Expiration Date.

SHEET NO.  
**23**  
23 OF 23

ZILKER STUDIOS - 1508 S LAMAR BLVD. AUSTIN, TX 78704  
SP-2020-0246C-SH

