

PRIVATE TREES IN SURVEY (Survey Date: 10/19, 4 Ward, LLC)						PRIVATE TREES REMOVED HERITAGE ECM 3.5.1 (A) (2) TREE CATEGORIES								
Tag #	SPECIES	CAL 1	CAL 2	CAL 3	CAL 4	CALIPER TOTAL	HERITAGE 24"+	APDX-F 19"+	APDX-F 8"-18.9"	NON-APDX-F 19"+	NON-APDX-F 8"-18.9"	APDX-F <8"	NON-APDX-F <8"	INVASIVE
5000	Japanese Yew	15				15.00								
5001	Live Oak	31				31.00								
5002	Live Oak	18				18.00			18.00					
5003	Live Oak	17				17.00			17.00					
5004	Live Oak	24				24.00			24.00					
5005	Live Oak	9				9.00			9.00					
5006	Live Oak	8				8.00			8.00					
5007	Live Oak	12				12.00			12.00					
5008	Live Oak	33				33.00								
5009	American Elm	18				18.00			18.00					
5010	Hackberry	13				13.00								
5011	Hackberry	10	9	8		23.00								
Total caliper inches removed per category							0.00	23.00	106.00	0.00	0.00	0.00	15.00	0.00
Grand Total caliper inches removed							144.00							

COA Minimum Replacement								
Replacement %	300%	100%	50%	50%	25%	50%	25%	0%
Subtotal Replacement Inches	0.00	23.00	53.00	0.00	0.00	0.00	3.75	0.00
Total Replacement (caliper inches)	79.75							

PRIVATE TREES PROPOSED		
REPLACEMENT TREES (ALL NUMBERS REPRESENT QTY OF INCHES)	REQUIRED	PROVIDED
TOTAL TO BE MITIGATED	79.75	3
HERITAGE TREES 24"+	0 (at 300%) = 0	
19" AND GREATER, APDX-F TREES	23 (at 100%) = 23	
8" TO 18.9", APDX-F TREES	106.0 (at 50%) = 53.0	
19" AND GREATER, NON-APDX-F TREES	0 (at 50%) = 0	
8" TO 18.9", NON-APDX-F TREES	15.0 (at 25%) = 3.8	
<8" APDX-F	0 (at 50%) = 0	2
<8" NON-APDX-F	0 (at 25%) = 0	
INVASIVES	0 (at 0%) = 0	
TOTAL TO BE REPLACED:		
NUMBER AND SIZE OF REPLACEMENT TREE	TREES AT 4 CAL =	0
NUMBER AND SIZE OF REPLACEMENT TREE	TREES AT 1.5 CAL =	3
SIGNIFICANT SHADE TREE (75% OF TOTAL)	59.8	0

ROW TREES PROPOSED		
REPLACEMENT TREES (ALL NUMBERS REPRESENT QTY OF INCHES)	REQUIRED	PROVIDED
TOTAL TO BE MITIGATED	0.0	9
HERITAGE TREES 24"+	0 (at 300%) = 0	
19" AND GREATER, APDX-F TREES	0 (at 100%) = 0	
8" TO 18.9", APDX-F TREES	0 (at 50%) = 0	
19" AND GREATER, NON-APDX-F TREES	0 (at 50%) = 0	
8" TO 18.9", NON-APDX-F TREES	0 (at 25%) = 0	
<8" APDX-F	0 (at 50%) = 0	
<8" NON-APDX-F	0 (at 25%) = 0	
INVASIVES	0 (at 0%) = 0	
TOTAL TO BE REPLACED:		
NUMBER AND SIZE OF REPLACEMENT TREE	2 TREES AT 4.5 CAL =	9
NUMBER AND SIZE OF REPLACEMENT TREE	TREES AT 1.5 CAL =	0
SIGNIFICANT SHADE TREE (75% OF TOTAL)	0.0	9

Private Tree REMOVAL Accounting Summary		Private Tree PRESERVATION Accounting Summary	
Total Caliper Inches Surveyed: 185		Total Caliper Inches Surveyed: 185	
Total heritage cal. inches 24"+ removed	0	Total heritage cal. inches 24"+	0
Total cal. inches removed, Appendix F, 19" & up	23	Total cal. inches, Appendix F, 19" & up	0
Total cal. inches removed, Appendix F, 8"-18.9"	106	Total cal. inches, Appendix F, 8"-18.9"	0
Total cal. inches removed, NON-Appendix F, 19" & up	0	Total cal. inches, NON-Appendix F, 19" & up	64
Total cal. inches removed, NON-Appendix F, 8"-18.9"	15	Total cal. inches, NON-Appendix F, 8"-18.9"	0
Total cal. inches removed, Appendix F, <8"	0	Total cal. inches, Appendix F, <8"	0
Total cal. inches removed, NON-Appendix F, <8"	0	Total cal. inches, NON-Appendix F, <8"	0
Total cal. inches removed, Invasives	0	Total cal. inches, Invasives	0
Total Cal. Inches removed: 144		Total Cal. Inches PRESERVED: 64	

LANDSCAPE CALCULATIONS (APPENDIX C)		
STREET YARD	REQUIRED	PROVIDED
TOTAL SITE AREA	N/A	22,089 SF
TOTAL STREET YARD AREA	N/A	0 SF
STREET YARD LANDSCAPE (20%)	N/A	0 SF
TREES (STREET YARD)		
EXISTING TREES CREDIT		
2" DIA. - 6" DIA.	0 EA. X 1=	0
6" DIA OR GREATER	0 EA. X 2=	0
PROPOSED STREET YARD TREES	0	0

ISLAND, MEDIANS AND PENINSULAS		
	REQUIRED	PROVIDED
PARKING SPACES IN STREET YARD	N/A	
PARKING SPACES IN NON-STREET YARD		
STREET YARD AREA	0	0
NON-STREET YARD AREA	0	0

INNOVATIVE WATER MANAGEMENT		
	REQUIRED	PROVIDED
REQUIRED LANDSCAPE AREA (SECTION 2.4.9.1.) (SY LANDSCAPE + NON-SY PARKING LANDSCAPE 50% OF REQUIRED LANDSCAPE AREA =	0 SF	0 SF
LANDSCAPING RECEIVING STORMWATER RUNOFF		0 SF
UNDISTURBED NATURAL AREAS		0
UNDISTURBED EXISTING TREES		0

APPENDIX O: - LANDSCAPE/IRRIGATION NOTES
SITE DEVELOPMENT PERMIT - IRRIGATION NOTES

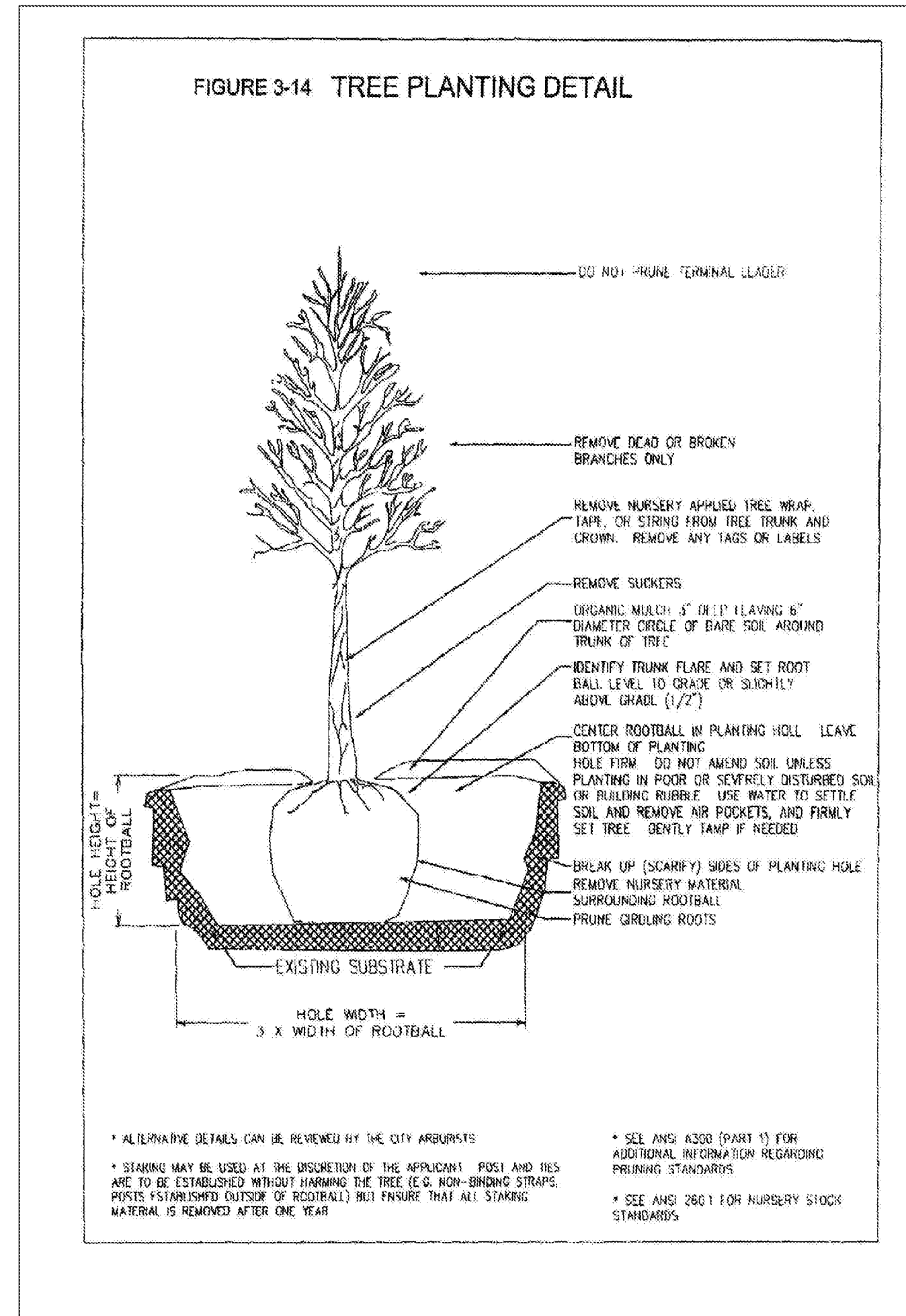
Automatic irrigation systems shall comply with TCEQ Chapter 344, as well as the following requirements:

- These requirements shall be noted on the Site Development Permit and shall be implemented as part of the landscape inspection:
 - the system must provide a moisture level adequate to sustain growth of the plant materials;
 - the system does not include spray irrigation on areas less than ten (10) feet wide (such as medians, buffer strips, and parking lot islands);
 - circuit remote control valves have adjustable flow controls;
 - serviceable in-head check valves area adjacent to paved areas where elevation differences may cause low head drainage;
 - a master valve installed on the discharge side of the backflow preventer;
 - above-ground irrigation emission devices are set back at least six (6) inches from impervious surfaces;
 - an automatic rain shut-off device shuts off the irrigation system automatically after more than a one-half inch (1/2") rainfall; and
 - newly planted trees shall have permanent irrigation consisting of drip or bubblers.
- The irrigation installer shall develop and provide an as-built design plan to the City at the time the final irrigation inspection is performed;
 - unless fiscal security is provided to the City for the installation of the system, it must be operational at the time of the final landscape inspection.
- The irrigation installer shall also provide exhibits to be permanently installed inside or attached to the irrigation controller, including:
 - a laminated copy of the water budget containing zone numbers, precipitation rate, and gallons per minute; and a zone map with the isolation valve location.
- The irrigation installer shall provide a report to the City on a form provided by Austin Water certifying compliance with Subsection 1. When the final plumbing inspection is performed by the City.

GENERAL NOTES -

- If establishing vegetation during any stage of a drought, Section 6-4-30 may require a variance. Contact Austin Water Conservation staff at waterusecompvar@austintexas.gov or call (512) 974-2199.
- The Owner will continuously maintain the required landscaping in accordance with LDC 25-2-984.
- All landscaped areas are to be protected by 6-inch wheel curbs, wheelstops or other approved barriers as per ECM 2.4.7. [LDC 25-2-1004(A), ECM 2.4.7(A)]

Alternate Compliance Equivalent (ACE) Request -
Per section 3.5.4, Request is for mitigation measure to provide funds for a Tree Care Plan for trees to be retained. Development is certified affordable development.
\$75 PER CALIPER INCH = \$4,818.75 TO BE PAID TOWARD URBAN FOREST REPLENISHMENT FUND



EXISTING LEGEND	
(Symbol)	HYDRANT W/ GATE VALVE
(Symbol)	WATERLINE W/ GATE VALVE
(Symbol)	WASTEWATER W/ MANHOLE
(Symbol)	WASTEWATER W/ CLEANOUT
(Symbol)	STORMLINE W/ MANHOLE
(Symbol)	STORMLINE W/ CURB INLET
(Symbol)	GROUND CONTOUR
(Symbol)	700
(Symbol)	700
(Symbol)	GROUND CONTOUR
(Symbol)	ELECTRIC LINE
(Symbol)	GAS LINE
(Symbol)	ACCESSIBLE ROUTE
(Symbol)	FIRE LANE
(Symbol)	CONCRETE WALL
(Symbol)	TRADITIONAL CONCRETE



ZILKER STUDIOS
1508 SOUTH LAMAR BOULEVARD, AUSTIN, TX 78704

LANDSCAPE DETAIL AND CALCULATIONS

CIVILITUDE
ENGINEERS & PLANNERS

5110 LANCASTER COURT AUSTIN, TX 78723 FIRM REG # F12469
PHONE 512 761 6161 FAX 512 761 6167 INFO@CIVILITUDE.COM

SCALE: _____
JOB NO: _____
DGN BY: _____
DWN BY: _____
RWV BY: _____

SITE PLAN APPROVAL SHEET 20 OF 23
FILE NUMBER: **SP-2020-0246C-SH** APPLICATION DATE: **JUNE 12, 2020**
APPROVED BY COMMISSION ON UNDER SECTION **112** ON
CHAPTER **25-5** OF THE CITY OF AUSTIN CODE
EXPIRATION DATE (25-5-B1, LDC): _____ CASE MANAGER **CLARISSA DAVIS**
PROJECT EXPIRATION DATE (ORD #970905-A) _____ DWPZ _____ DDZ _____

Director, Development Service Department
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: **CS-V, GR-V**
Rev. 1 _____ Correction 1
Rev. 2 _____ Correction 2
Rev. 3 _____ Correction 3

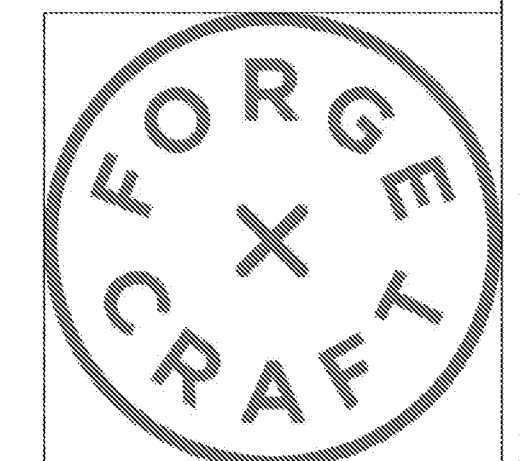
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a Building permit is not required, must also be approved prior to the Project Expiration Date.

SHEET NO. **20**
OF 23

ASAKURA ROBINSON

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