

THIS PROJECT HAS REQUESTED A WAIVER FROM SECTION 2.9.2.B.15 WHICH REQUIRES A MINIMUM OF 48" OF COVER FOR THE WATER LINE.

AUSTIN WATER DATE

THIS PROJECT HAS REQUESTED A WAIVER FROM SECTION 2.9.2.B.2 WHICH REQUIRES A 5" SEPARATION FROM WATER SVC TO STORM LINE.

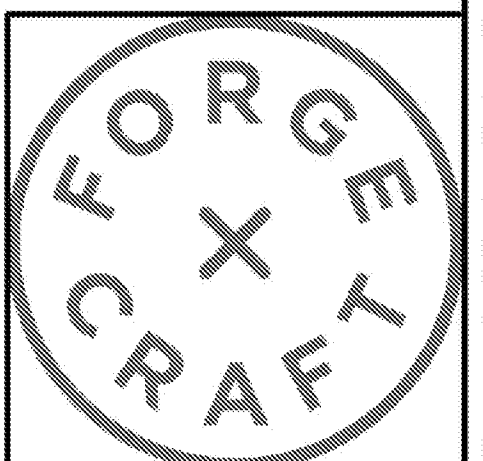
AUSTIN WATER DATE

AUSTIN FIRE DEPARTMENT
OUR MISSION GOES BEYOND OUR NAME
ENGINEERING SERVICES REVIEW
C. Mendoza
REVIEWER: C. Mendoza DATE: 03/11/2021

REVIEWED
March 02, 2021
Lucy Williams
Type Name Here



Asakura Robinson
1224 E 12th Street, St. 310 •
Austin, TX 78702
512.351.6901 Main
www.asakurarobinson.com



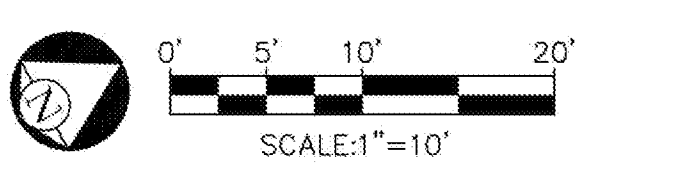
FORGE CRAFT
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608 West Monroe St., St. C
Austin, TX 78704
T: 512.872.6655
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Foundation
Communities
1508 S LAMAR BLVD.
Austin, Texas 78704

FIRE DEPARTMENT NOTES
1. UNDERGROUND MAINS FEEDING NFPA 13 SPRINKLER SYSTEMS MUST BE INSTALLED AND TESTED IN ACCORDANCE WITH NFPA 13, AND THE FIRE CODE, BY A LICENSED SPRINKLER CONTRACTOR WITH A PLUMBING PERMIT. THE ENTIRE MAIN MUST BE HYDROSTATICALLY TESTED AT ONE TIME, UNLESS ISOLATION VALVES ARE PROVIDED BETWEEN TESTED SECTIONS.

- EXISTING LEGEND**
- HYDRANT W/ GATE VALVE
 - WATERLINE W/ GATE VALVE
 - WASTEWATER W/ MANHOLE
 - WASTEWATER W/ CLEANOUT
 - STORMLINE W/ MANHOLE
 - STORMLINE W/ CURB INLET
 - GROUND CONTOUR
- PROPOSED LEGEND**
- HYDRANT W/ GATE VALVE
 - WATERLINE W/ GATE VALVE
 - WASTEWATER W/ MANHOLE
 - WASTEWATER W/ CLEANOUT
 - STORMLINE W/ MANHOLE
 - STORMLINE W/ CURB INLET
 - GROUND CONTOUR
 - ELECTRIC LINE
 - GAS LINE
 - ACCESSIBLE ROUTE
 - FIRE LANE
 - CONCRETE WALL
 - TRADITIONAL CONCRETE



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

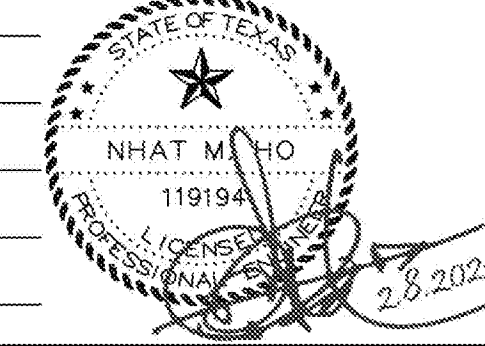
ZILKER STUDIOS
1508 SOUTH LAMAR BOULEVARD, AUSTIN, TX 78704

UTILITY PLAN



5110 LANCASTER COURT AUSTIN, TX 78723 FIRM REG # F12469
PHONE 512 761 6161 FAX 512 761 6167 INFO@CIVILITUDE.COM

SCALE: AS SHOWN
JOB NO: A446-001
DGN BY: EAK
DWN BY: PB
RVW BY: NMH



SITE PLAN APPROVAL SHEET 10 OF 23
FILE NUMBER: SP-2020-0246C.SH APPLICATION DATE: JUNE 12, 2020
APPROVED BY COMMISSION ON UNDER SECTION 112 ON
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE
EXPIRATION DATE (25-5-01, LDC) CASE MANAGER CLARISSA DAVIS
PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ DDZ

Director, Development Services Department
RELEASED FOR GENERAL COMPLIANCE: ZONING: CS-V, GR-V
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3

Final plans must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Forms and/or a notice of construction of a Building permit is not required, must also be approved prior to the Project Expiration Date.

SHEET NO. 10 OF 23



ZILKER STUDIOS - 1508 S LAMAR BLVD. AUSTIN, TX 78704

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